



CITY OF ST. PETERSBURG, FLORIDA
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

STAFF REPORT
DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST
PUBLIC HEARING

According to Planning & Development Services Department records, no Commission member or his or her spouse has a direct or indirect ownership interest in real property located within 2,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.

REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, PLANNING & DEVELOPMENT SERVICES DEPARTMENT, for Public Hearing and Executive Action on **Wednesday, April 6, 2022 at 10:00 A.M.** at Council Chambers, City Hall, located at 175 5th Street North, St. Petersburg, Florida.

CASE NO.:	22-54000002
PLAT SHEET:	H-9
REQUEST:	Approval of a variance to lot width and area to create three (3) buildable lots from three (3) platted lots to allow construction of three (3) single-family homes.
OWNER:	Top 2 Bottom Property Preservation, LLC 13444 Canopy Creek Dr. Tampa, FL 33625
AGENT:	Harlan Heshelow, Legacy Design Group 5550 Bates St. Seminole, FL 33772
ADDRESS:	1916 and 1924 15 th Avenue S
PARCEL ID NO.:	25-31-16-11502-000-0130 and 25-31-16-11502-000-0150
ZONING:	Neighborhood Traditional – 1 (NT-1)

REQUEST: The applicant requests approval of a variance to lot width and area to create three (3) buildable lots from three (3) platted lots to allow construction of three (3) single-family homes.

	Required	Requested	Variance	Magnitude
Lot Area (Lots 13 & 14)	4,500 sq. ft.	3,608 sq. ft.	892 sq. ft.	20%
Lot Area (Lot 15)	4,500 sq. ft.	3,564 sq. ft.	936 sq. ft.	21%
Lot Width (Lots 13 & 14)	45 feet	41 feet	4 feet	9%
Lot Width (Lot 15)	45 feet	40.5 feet	4.5 feet	10%

BACKGROUND: The subject property consists of Lots 13, 14, and 15 in the Brightwood subdivision of 1926. The lots are currently combined under two Parcel ID Numbers and are vacant in the Neighborhood Traditional - 1 (NT-1) Zoning District (see Attachment A – Location Map and Attachment B - Plat). All are platted lots of record 88 feet deep. Lots 13 and 14 are 41 feet wide and Lot 15 is 40.5 feet wide. They are all deficient in lot width and area for the NT-1 Zoning District (see table, above). The applicant proposes to create three (3) buildable lots and has submitted site plans, floor plans and façade sketches that depict houses that can be built on the lots and would comply with the setback and lot coverage standards of the NT-1 Zoning District (see Attachment C – Application).

VARIANCE REVIEW CRITERIA:

Physical Hardship Related to the Subject Property:

The hardship related to the property is the original platted configuration, that created lots deficient in width and area. Since their platting, the lots were re-zoned to RS-75, then NT-1, that required minimum 45-foot lot widths and 4,500 square feet in lot area.

Consistency Review of Standards at Section 16.70.040.1.6 Variances, Generally:

1. Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:
 - a. Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.
 - This criterion is not applicable. The property is vacant.
 - b. Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.
 - The lots are nonconforming platted lots of record and have been combined into two development parcels. Because they are under common ownership and are nonconforming, they cannot be unmerged unless variance approval is obtained.
 - c. Preservation district. If the site contains a designated preservation district.
 - The property is not located in a preservation district.
 - d. Historic Resources. If the site contains historical significance.
 - The property is not historically significant.
 - e. Significant vegetation or natural features. If the site contains significant vegetation or other natural features.
 - This is not a factor in this application.

- f. Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.
- Development on nonconforming lots in common ownership was restricted by City Code 1973 through 2003. The Code was then amended in 2003, allowing development on any platted lot of record, loosening the previous restriction. After concerns that some of the consequent development was inconsistent with the neighborhood pattern in certain instances, City Council again amended the regulation on September 17, 2015, eliminating the right to build on substandard lots without first obtaining a variance, while also making clear the intent of the variance review is to determine whether such development would be consistent with the surrounding neighborhood pattern.
 - Lot Dimensions:
 - The subject block and surrounding blocks within the NT-1 Zoning District were analyzed in terms of lot width and area. The lots on the subject block were generally platted at 41 feet wide by 88 feet deep, which yields a 3,608-square-foot lot. Lots on surrounding blocks were platted with deeper lots ranging from 98 to 131 feet deep, which provides larger lot areas.
 - Eighty-one (81) percent of lots on the subject block are substandard in width and/or area, and 85 percent of dwellings on the block were developed on one platted lot (see Attachment D – Neighborhood Study Area Map, Attachment E - Block Location & Lot Dimension Map, Attachment F – Graphic Analysis and Attachment G – Tabular Lot Analysis.)
 - On Block 85410 to the north, zero percent of lots are substandard, and 73 percent were developed on one platted lot.
 - On Block 85212 to the northeast, 56 percent of lots are substandard, and 85 percent were developed on one platted lot.
 - On Block A to the east, zero percent of lots are substandard, and 79 percent of dwellings were developed on one platted lot.
 - The subject parcels are located at the end of the block, at the intersection of 15th Avenue S. and 19th Street S. The parcels abutting this intersection at the four corners are all compliant with the NT-1 lot width and area standards.
 - Per this analysis, the predominant pattern of the neighborhood is not substandard lots, however is one house per platted lot, which this application proposes.
 - Setbacks, Building Height and Other Dimensional Requirements:
 - The applicant submitted plans for development of the three lots which depict houses that comply with the required building setbacks, impervious coverage and Floor-Area-Ratio limitations for the zoning district. Minor revisions to the plans would be required at the time of building permit review in order to comply with maximum permitted driveway widths (12 feet wide in the City right-of-way and 16 feet wide at the curb). The City Arborist has reviewed the trees on site and determined that the Code-protected Laurel Oaks are in significant decline and would not be required to be retained at the time of building permit. A tree removal permit is required to remove the trees.

2. The special conditions existing are not the result of the actions of the applicant;
 - The special conditions related to the case are not the result of the actions of the applicant.
3. Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;
 - Literal enforcement of this Chapter would not result in unnecessary hardship. A single-family dwelling would be allowed on each of the two parcels.
4. Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;
 - Strict application of the applicable provisions would still provide the applicant with means for reasonable use of the property. It is currently zoned to allow a single-family residential use on each of the two parcels.
5. The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;
 - This criterion does not apply because Criterion 4 does not apply.
6. The granting of the variance will be in harmony with the general purpose and intent of this chapter;
 - The following purposes of the Land Development Regulations apply in this case:
 - *D. Development standards. The development standards contained within this chapter have been established in order to ensure adequate levels of light, air and density of development, to maintain and enhance locally recognized values of community appearance and to promote the safe and efficient circulation of pedestrian and vehicular traffic. The standards are in furtherance of the goals and objectives of the plan and are found to be necessary for the preservation of the community, health, safety and general welfare.*
 - *E. Site requirements. The required area and dimensions of all building sites is sufficient to accommodate the anticipated density of development, open spaces, setbacks and parking spaces.*
 - The application would generally be in harmony with the permitted density in the Zoning District, and the submitted plans demonstrate sufficiency of the dimensions of the proposed building sites to accommodate the density of development.
7. The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare;
 - The granting of the variance is not anticipated to be directly injurious to neighboring properties.
8. The reasons set forth in the application justify the granting of a variance;
 - The reasons set forth in the application narrative do justify granting of the variance.
9. No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.
 - This criterion is not applicable. No nearby nonconforming use situations are being considered, only lot dimensions of neighboring lands.

PUBLIC COMMENTS: As of the date of this report, Staff received no objections from the public. No comments were received from the Melrose Mercy Neighborhood Association, CONA or FICO. No signatures of support were submitted.

STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning & Development Services Department Staff recommends **APPROVAL** of the application.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plans submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The plans submitted for permitting shall substantially resemble those submitted with the approved variance application, except that revisions shall be made to bring the plans into compliance with the Land Development Regulations. Approval of this variance does not grant or imply variances from other sections of the City Code or other applicable regulations. A tree removal permit shall be required.
2. This variance approval shall be valid through April 6, 2025. Substantial construction shall commence prior to the expiration date unless an extension has been approved by the POD. A request for extension must be filed in writing prior to the expiration date.

Report Prepared By:

<u>/s/Cheryl Bergailo</u>	<u>3/23/22</u>
Cheryl Bergailo, AICP, LEED Green Assoc., Planner II	Date
Development Review Services Division	
Planning & Development Services Department	

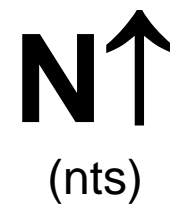
Report Approved By:

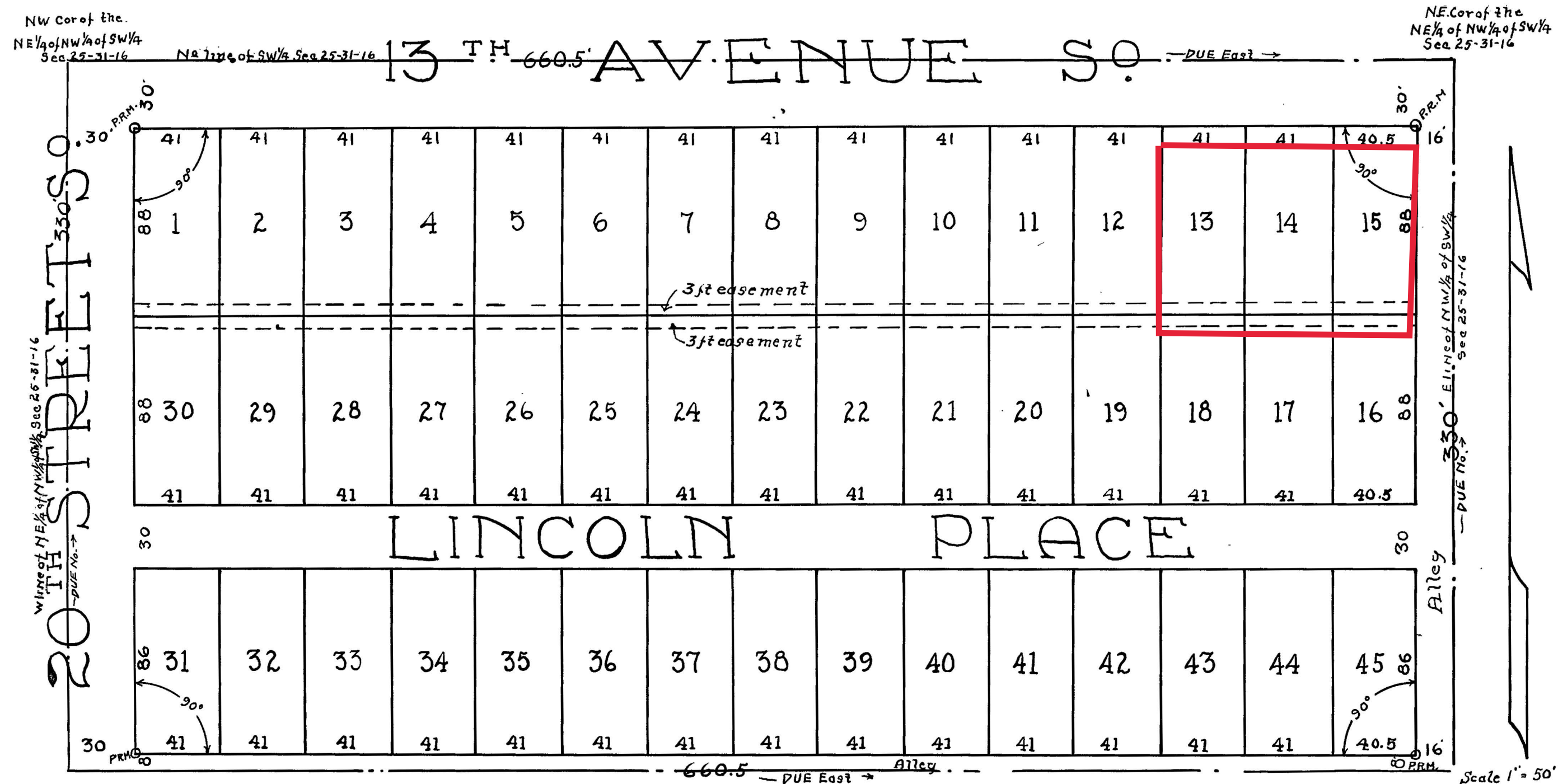
<u>/s/ Elizabeth Abernethy for</u>	<u>03/23/2022</u>
David Goodwin, Interim Zoning Official (POD)	Date
Development Review Services Division	
Planning & Development Services Department	

ATTACHMENTS: A) Location Map, B) Plat, C) Application, D) Neighborhood Study Area Map, E) Block Location & Lot Dimension Map, F) Graphic Analysis, G) Tabular Analysis, H) Aerial Photos



ATTACHMENT – A
 Project Location Map
 City of St. Petersburg, Florida
 Planning and Development Services Department
 Case No.: 22-54000002
 Address: 1916 and 1924 15th Avenue S





BRIGHTWOOD

Being a sub-division of the NW 1/4 of NE 1/4 of NW 1/4 of Sec. 25, Twp 31S, R 16 E.
St. Petersburg, Pinellas County, Florida.

I hereby certify that on this 6th day of May A.D. 1925 this property was surveyed and staked and that monuments were set as indicated and that the dimensions, angles and lengths are correct.

[Signature] C.E. Licenc "462

Approved by the City of St. Petersburg, Florida, this 13 day of May 1926

[Signature]

We the undersigned, hereby certify that we are the owners of the NW 1/4 of NE 1/4 of NW 1/4 of Sec. 25, Twp 31S, R 16E hereby platted as Brightwood, that we dedicate to the public all streets, alleys and public places shown on this plat of the subdivision of said lands.

Signed, sealed and delivered in the Presence of:

[Signature] Witness
[Signature] Witness
[Signature] Witness

Newport Manufacturing Co. Inc. of Durham, N.C.
[Signature] President (Seal)
[Signature] Asst. Sec. (Seal)

State of Florida } S.S.
County of Pinellas }

I HEREBY CERTIFY that on this 25th day of February A.D. 1926 before me personally appeared *[Signature]* President of the Newport Manufacturing Co. Inc.

incorporation under the laws of the State of North Carolina to me known to be the person described in and who executed the foregoing certificate, and dedication and severally acknowledged the execution thereof to be his free act and deed as such officer, for the uses and purposes therein mentioned, and that he affixed thereto the official seal of said corporation, and the said instrument is the act and deed of said corporation.

Witness my signature and official seal of St. Petersburg in the County of Pinellas and State of Florida this day and year last aforesaid

My commission expires June 15, 1926.

State of North Carolina } S.S.
County of Durham }

I HEREBY CERTIFY that on this 2 day of March A.D. 1926 before me personally appeared *[Signature]* Sec. of the Newport Manufacturing Co. Inc. incorporation under the laws of the State of North Carolina, to me known to be the person described in and who executed the foregoing certificate and dedication and severally acknowledged the execution thereof to be his free act and deed as such officer, for the uses and purposes therein mentioned, and that he affixed thereto the official seal of said corporation and the said instrument is the act and deed of said corporation.

Witness my signature and official seal of Durham in the State of North Carolina this day and year last aforesaid

My commission expires June 1, 1926

[Signature] Notary Public State of North Carolina

APR 13 1926

FILED APR 13 1926 AT 11:00 O'CLOCK
AND RECORDED IN THE PUBLIC RECORDS OF
PINELLAS COUNTY, FLORIDA IN THE BOOK
AND ON THE PAGES DESIGNATED ABOVE.
K. E. O'QUINN, Clerk Circuit Court



VARIANCE

Application No. 22-5400002

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION

NAME of APPLICANT (Property Owner): TOP 2 BOTT

Street Address: 13444 CANOPY CREEK DRIVE

City, State, Zip: TAMPA, FL 33625-5916

Telephone No: 813-494-7116

Email Address: Latonia Jones <top2bottompp@yahoo.com>

NAME of AGENT or REPRESENTATIVE: HARLAN HESHEL L G DESIG G OU

Street Address: 5550 BATES STR

City, State, Zip: SEMINOLE, FL 3

Telephone No: 727-439-3337

Email Address: LEGACYDESIGN1@GMAIL.COM

PROPERTY INFORMATION:

Street Address or General Location: 1916 and 1924 15th AVENUE SOUTH

Parcel ID#(s): 25-31-16-11502-000-0130 and -0150

DESCRIPTION OF REQUEST: BUILD 3 NEW HOMES ON 3 ORIGINALLY PLATTED LOTS
THAT DO NOT MEET WIDTH OF CHANGED ZONING RULES

PRE-APPLICATION DATE:

PLANNER:

FEE SCHEDULE

1 & 2 Unit, Residential - 1st Variance \$350.00

3 or more Units & Non-Residential - 1st Variance \$350.00

Each Additional Variance

\$100.00

After-the-Fact

\$500.00

Docks

\$400.00

Flood Elevation

\$300.00

Cash, credit, checks made payable to "City of St. Petersburg"

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*: 

Date: 1/5/22

*Affidavit to Authorize Agent required if signed by Agent

Typed Name of Signatory: HARLAN HESHELOW

ATTACHMENT - C

Preliminary Plat Application with Variance

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address or General Location:	
Detailed Description of Project and Request:	
<p>The owners like to build 3 single family homes on the 3 originally platted lots. Lots 13, 14, 15, Brightwood</p>	
<p>1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?</p>	<p>These are platted lots but are undersized by the new codes written that require 45' wide lots If the lots were individually owned, new houses could be built without this variance request.</p>
<p>2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.</p>	<p>There are numerous other single family lots on the adjacent lots behind our proposed lots (lots 16 17 & 18) All the houses but 3 in this block (Brightwood) on are on 41' wide lots which consists of 22 lots at 41' wide 2 blocks to the southwest, there are 14 – 40' wide lots between 17th Avenue South and Queensboro Avenue South These are lots 3,4,5,6,7,8,9,10,11,19,20,21,22,23 Park sub, lot A 3 blocks to the south, there are 2 lots that are 37'6" wide. These are lots 17,18,19 Tanhurst sub, block B There are also numerous other lots in these blocks that are 42' wide These are lots 3,4,5,6,7,8 Tanhurst sub, block B There are numerous other sub-standard lots in this area but we are showing 46 lots within 2 blocks of the property. The owners are being penalized for being a single owner, this</p>
<p>3. How is the requested variance not the result of actions of the applicant?</p>	<p>The owner bought the lots to develop and match existing houses. Since they bought 3 lots, the assumption was that they could develop all 3 lots. These are 3 vacant platted lots and the penalty to develop is the single ownership of these 3 lots.</p>

Preliminary Plat Application with Variance

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE

4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?

The owners want to maximize the use of the lots and built 3 new homes.
These homes will enhance the neighborhood as they will be new concrete block houses with updated amenities.
Converting the lots to 2 lots will not increase the size of the homes as that would price them out of the market.
The proposed houses are 2 – 3 bedroom, 2 bath (1362 sf) and one 2 story – 3 bedroom, 3 bath (1596 sf)
These sizes are in keeping with the large majority of homes in this area

5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?

The owners can build 2 homes without a variance but are being unfairly penalized because there is one owner for all 3 lots.
If the lots were individually owned, new houses could be built without this variance.
This seems completely illogical as the owners want to maximize their investment and add 3 badly needed homes to the South side of St Petersburg.

6. In what ways will granting the requested variance enhance the character of the neighborhood?

The owners will build 3 attractive new homes in an area of older homes, many of these homes are rundown.
The new homes (especially on a main road of 15th Avenue South) will upgrade and enhance the neighborhood
The homes will meet all required setbacks and site conditions.

LEGAL DESCRIPTION:

LOT 13 AND THE WEST 1/2 OF LOT 14, BRIGHTWOOD, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 19, PAGE 1, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

TOGETHER WITH

LOT 15 AND THE EAST 1/2 OF LOT 14, BRIGHTWOOD, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 19, PAGE 1, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

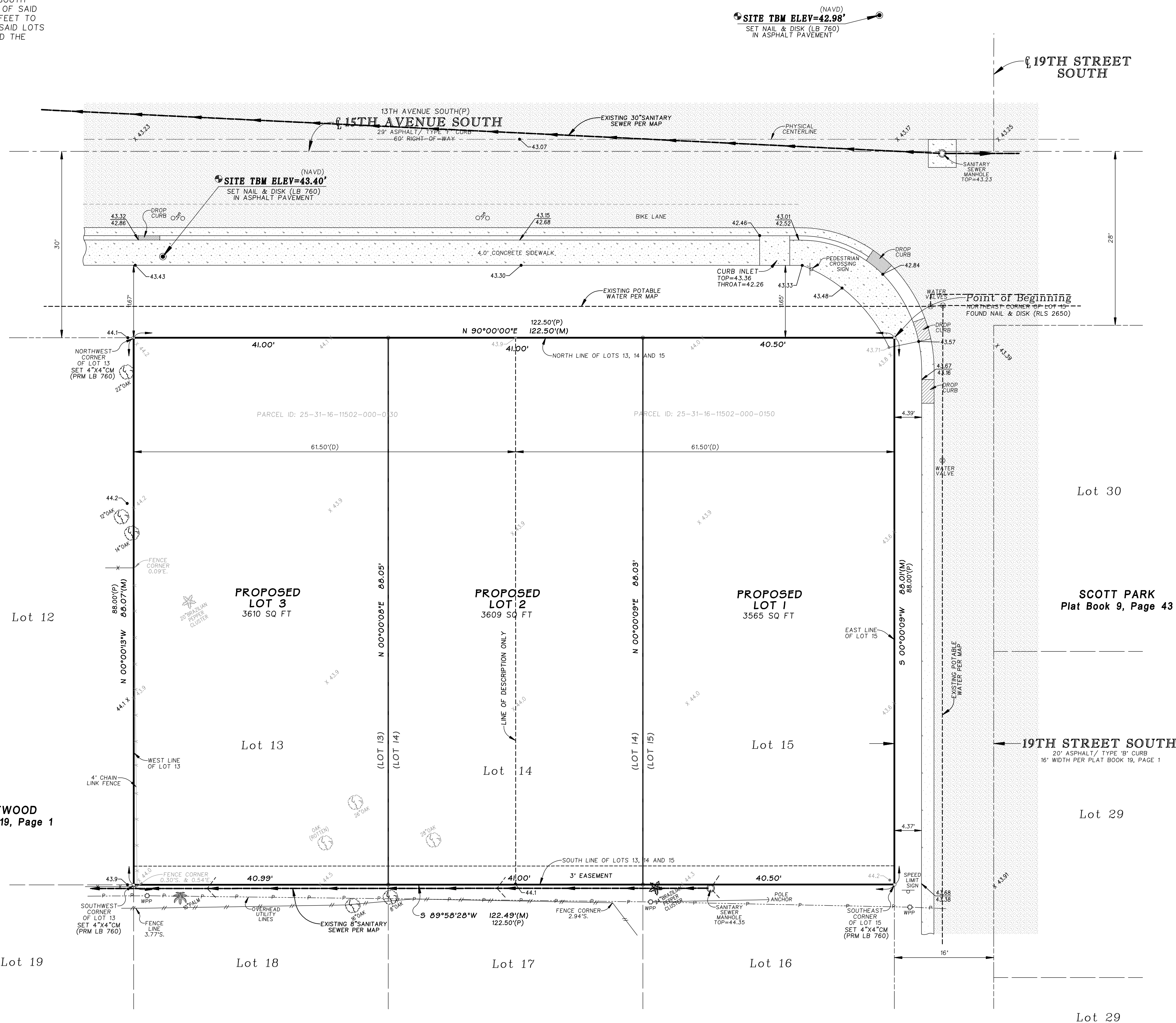
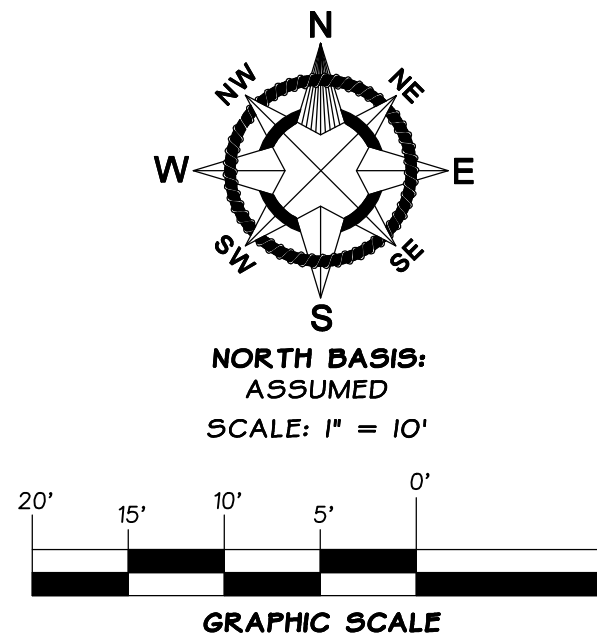
ALL THE ABOVE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF LOT 15, BRIGHTWOOD, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 19, PAGE 1, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND RUN THENCE S.00°00'09"W. ALONG THE EAST LINE THEREOF A DISTANCE OF 88.01 FEET TO THE SOUTHEAST CORNER OF SAID LOT; THENCE RUN S.89°58'28"W. ALONG THE SOUTH LINE OF SAID LOT AND THE SOUTH LINE OF LOTS 13 AND 14 OF SAID PLAT A DISTANCE OF 122.49 FEET TO THE SOUTHWEST CORNER OF SAID LOT 13; THENCE RUN N.00°00'13"W. ALONG THE WEST LINE OF SAID LOT 13 A DISTANCE OF 88.07 FEET TO THE NORTHWEST CORNER OF SAID LOT 13; THENCE RUN N.90°00'00"E. ALONG THE NORTH LINE OF SAID LOTS 13, 14 AND 15 A DISTANCE OF 122.50 FEET TO THE AFORESAID NORTHEAST CORNER OF LOT 15 AND THE POINT OF BEGINNING.

PRELIMINARY PLAT
TOP 2 BOTTOM PROPERTY

A REPLAT OF LOTS 13, 14 AND 15, BRIGHTWOOD, ACCORDING TO THE
PLAT THEREOF AS RECORDED IN PLAT BOOK 19, PAGE 1, OF
THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

LYING IN THE SOUTHWEST 1/4 OF SECTION 25, TOWNSHIP 31 SOUTH, RANGE 16 EAST
CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA



SURVEYOR'S REPORT:

ALL HORIZONTAL FIELD MEASUREMENTS TAKEN FOR THIS SURVEY WERE MADE WITH ELECTRONIC TRANSIT AND/OR STEEL TAPE WITH UNITS OF MEASUREMENTS IN U.S. SURVEY FOOT. ALL DIMENSIONS ARE FIELD MEASURED UNLESS NOTED OTHERWISE.

THE SURVEY BOUNDARY ACCURACY HAS BEEN VERIFIED USING A TRAVERSE CLOSURE METHOD WITH AN ACCURACY OF 1:7500.

SITE VERTICAL SURVEY CONTROL HAS BEEN ESTABLISHED USING CITY OF ST. PETERSBURG VERTICAL CONTROL NETWORK DATA, SPECIFIED ON DRAWING HEREON. REFERENCED VERTICAL DATA HAS BEEN ADJUSTED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

SITE VERTICAL SURVEY CONTROL FIELD EMPLOYED METHOD USING A SINGLE CIRCUIT LEVEL LOOP AND IS ACCURATE TO A STANDARD OF PLUS OR MINUS 0.05 FT. TIMES THE SQUARE ROOT OF THE LEVEL LOOP DISTANCE IN MILES.

ACCURACY STATEMENT: ALL MEASUREMENTS, DISTANCES, ELEVATIONS, AND FEATURES SHOWN HEREON WERE PERFORMED IN STRICT ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17, F.A.C. DOACS.

ABBREVIATIONS:

CL = CENTERLINE
(D) = DEED
ELEV = ELEVATION
ID = IDENTIFICATION
IR = IRON ROD
LB = LICENSED BUSINESS
(M) = MEASURED
MSL = MEAN SEA LEVEL
NAVD = NORTH AMERICAN VERTICAL DATUM
(P) = PLAT
PP = PINCH PIPE
RLS = REGISTERED LAND SURVEYOR
TBM = TEMPORARY BENCHMARK
WPP = WOOD POWER POLE

SITE NOTES:

SITE CONTAINS 10784 SQUARE FEET OR 0.247 ACRES, MORE OR LESS.
DEPICTED EXISTING UTILITY DATA SCALED FROM CITY UTILITY ATLAS H-9
AND FROM FIELD OBSERVATION.

PRELIMINARY PLAT PREPARED: 9/01/21

FEMA Flood Zone Data:
FLOOD ZONE X
COMMUNITY PANEL #125148 12103C0218 G
REVISED 9/3/03
Assumed Basis of Bearings:
SOUTH RIGHT-OF-WAY LINE OF 15TH AVENUE SOUTH AS BEING N.90°00'00"E. ASSUMED. (NO PLAT BEARINGS)
Reference Benchmark:
CITY OF ST. PETERSBURG #14 DATED 3/01/1972
ELEV=43.08' CITY DATUM, ADJUSTED TO
ELEV=45.53' NAVD, MSL=0.00'

NOTE:

This preliminary plat was prepared with the benefit of a title search by Old Republic National Title Insurance Company File No.: 21099516, effective date of August 18, 2021 at 08:00 AM.

Preliminary plat not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

This preliminary plat is made for the exclusive use of the current owners of the property and also those who purchase, mortgage or guarantee the title thereto within one (1) year from latest date shown hereon.

CERTIFICATION

I hereby certify that this preliminary plat represented hereon meets the requirements of Chapter 5J-17, Florida Administrative Code.

No. 0001
JOHN C. BRENDLA
FLORIDA SURVEYOR
Florida Surveyor Registration No. 4601
Certificate of Surveyor License No. 760

JOHN C. BRENDLA AND ASSOCIATES, INC.
Professional Land Surveyors and Mappers

JCB

4015 82nd Avenue North
Pinellas Park, Florida 33781
Telephone (727) 576-7546
Facsimile (727) 577-9932
LB 760

PRELIMINARY PLAT
TOP 2 BOTTOM PROPERTY

2106-51.CRD

REVISIONS

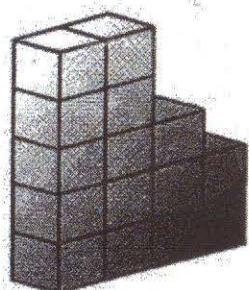
No.	DESCRIPTION	DATE
1.	SET PLAT PRMS AND INTERIOR CORNERS	8/03/21

FB: 988 PO(S): 36

Job Number: 2106-51A
Survey Date: 7/13/21

Drawn: DS

Checked: JCB



727-439-3337

ENGINEER

BRIAN REED, PE
 (27) 510-2688 LICENSE 60228
 769 42ND AVENUE NORTH
 ST PETERSBURG, FL 33703

BUILDER

PROJECT NAME

TOP 2 BOTTOM SPEC 1
LOT 1
XXXXX 15TH AVENUE SOUTH
ST PETERSBURG, FL 33712

ISSUED 9/8/21

REVISÉ

SURVEY/SITE DATA
PAGE LEGEND
DESIGN CRITERIA
PRODUCT APPROVAL

SCALE 1/4" = 1'-0"

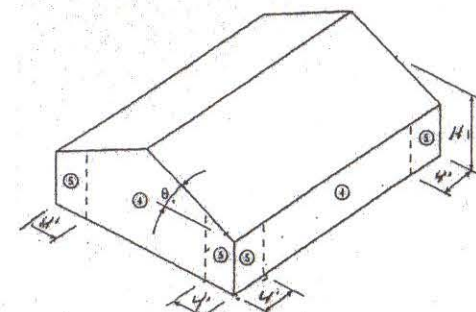
SHEET

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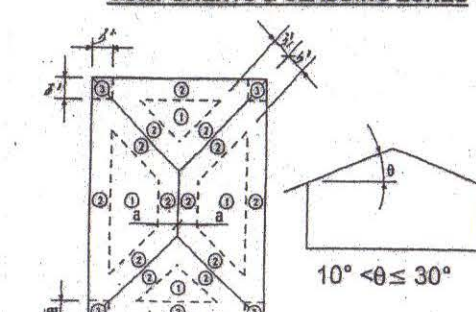
FLORIDA PRODUCT APPROVAL			
PRODUCT/SUBCATEGORY	MANUFACTURER	PRODUCT DESCRIPTION	APPROVAL NUMBER
EXTERIOR DOORS			
SLIDING	THERMA TRU	FIBER CLASSIC - FIBERGLASS SGL	FL0686.1
SLIDING	CH OVERHEAD DOOR	FIBER CLASSIC - FIBERGLASS DER, 4x 10 CH OVER 10 1/2" W/STAMP	FL1010.4
WINDOWS			
SLIDING	PU INDUSTRIES	SH4000 SGL, STAMP	FL1405.5
FIXED	PU INDUSTRIES	SH4000 SGL, STAMP	FL1405.7
INGLE	PANEL WALL	KAYAN	FL1660.1
ROOFING PRODUCTS			
ASPH/FLTS	POLYGLASS	MULTISEL ACHING METAL TILE SHINGLES	FL1472.9
ASPH/FLTS	POLYGLASS	MULTISEL ACHING METAL TILE SHINGLES	FL1472.9
ADJUST. SHINGLES	GAF	TEMPERLINE 30	FL1472.9
STRUCTURAL COMPONENTS			
WALL CONNECTIONS	SMPCON	HEXAR EMBEDDED TRUSS ANCHOR	FL1474.1
WALL CONNECTIONS	SMPCON	HHS PARACANE TIE	FL1468.6
WALL CONNECTIONS	SMPCON	HEXAR EMBEDDED TRUSS ANCHOR	FL1474.1
CONCRETE JOISTS	CART CRETE	PRE-CAST LINTEL	FL1468.6
CONCRETE JOISTS	CART CRETE	PRE-CAST LINTEL	FL1468.6

COMPONENTS & CLADDING ZONES



WALLS

COMPONENTS & CLADDING ZONES



HIP ROOFS

 $10^\circ < \theta \leq 30^\circ$

DESIGN AND MATERIAL CRITERIA

THIS BUILDING IS DESIGNED IN ACCORDANCE WITH CHAPTER 16 OF THE 2003 EDITION OF THE FLORIDA BUILDING CODE. THE DESIGN IS BASED ON THE BEST OF THE ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM STANDARD BUILDING CODES.

COMMENTS & CLADDING: ALL COMPONENTS TO MEET WIND LOADS ARE PRELIMINARY. ALL COMPONENTS AS PER SECTION 2/ASCE 7, ALL COMPONENTS IN ALL ZONES TO MEET DESIGN PRESSURES FOR FORTY END ZONE REQUIREMENTS.

ALL NEW WINDOWS AND DOORS MUST HAVE AN APPROVED LABEL FROM AAMA OF THE AMERICAN WINDOW PRESSURE INSTITUTE MEETING OR EXCEEDING THE REQUIRED DESIGN PRESSURE. ALL WINDOWS AND DOORS MUST BE INSTALLED PER MANUFACTURE SPECIFICATIONS.

ALL ROOF SYSTEMS MUST BE INSTALLED PER MANUFACTURE SPECIFICATIONS AND IN ACCORDANCE WITH NOTICE OF APPROVAL. ALL ROOFING MATERIALS TO BE CLASS ABC COMPLYING.

DESIGN LOADS

SECTION 1609 - FBC 2020		
ENCLOSED BUILDING - EXPOSURE B		
ROOF ANGLE 7- 27 DEGREES (2/12 - 6/12)		
ROOF STRUCTURE		
ZONE	WIND AREA	PRESSURE (PSF)
1	10	+20.3 / -32.3
1	20	+18.5 / -31.4
1	50	+16.1 / -30.2
1	100	+14.3 / -29.3
2	10	+20.3 / -56.2
2	20	+18.5 / -51.7

50	+16.1
100	+14.3

2	100	+14.3/-41.2
3	10	+20.3/-83.1
3	20	+18.5/-77.7
3	50	+16.1/-70.5
3	100	+14.3/-65.1

WALL STRUCTURE

4	20	+33.7 / -36.7
4	50	+31.5 / -34.6
4	100	+30.0 / -33.0
4	500	+26.3 / -29.3
5	10	+35.3 / -47.0
5	20	+33.7 / -44.0
5	50	+31.5 / -39.0
5	100	+30.0 / -36.0
5	500	+26.3 / -29.0

PREScriptive DESIGN

PER FBC 2000. FULLY ENCLOSED	
CONSTRUCTION TYPE	IIIb CMU EXT BRING UNSPRINKLED
BASIC WIND SPEED	145 MPH
BUILDING RISK CATEGORY	II
WIND IMPORTANCE FACTOR	1.0
EXPOSURE CATEGORY	B
HEIGHT COEFFICIENT	1.21
MEAN ROOF HEIGHT	35.0 OR LESS
INTERNAL PRESSURE COEF	+/- .18
LOADING LIVE: FLOOR	20 PSF
	40 PSF
CONCRETE:	3000 PSI
LUMBER	SP #2
SOIL BEARING	1500 PSF (ASSUMED)
FLOOD HAZARD	NO
ROOFING TYPE	FIBERGLASS SHINGLES
ROOF SLOPE	4/12
WIND UPPRESSURE	1.066 PRODUCT

100

PLAN REVIEW

SUMMARY:
THIS PROJECT CONSISTS OF NEW SINGLE FAMILY

ST PETERSBURG
APPROX 23.8 A

PROJECT: 2020-23-AFG
 CONSTRUCTION TYPE: TYPE 1-CAST-IN-PLACE SPRINKLED
 CLASSIFICATION OF WORK: SINGLE FAMILY
 APPLICABLE CODES:
 CITY OF ST PETERSBURG
 FLORIDA BUILDING CODE 2020 7TH ED BUILDING
 FLORIDA BUILDING CODE 2020 7TH ED EXISTING BLDG
 FLORIDA BUILDING CODE 2020 7TH ED RESIDENTIAL
 FLORIDA BUILDING CODE 2020 7TH ED ACCESSIBILITY
 FLORIDA BUILDING CODE 2020 7TH ED PLUMBING
 FLORIDA BUILDING CODE 2020 7TH ED MECHANICAL
 FLORIDA BUILDING CODE 2020 7TH ED FUEL GAS
 FLORIDA FIRE PREVENTION CODE 2020 7TH ED
 NATIONAL ELECTRIC CODE NEC 2020

TOP 2 BOTTOM - LOT 1 0000 15TH AVENUE SOUTH ST PETERSBURG, FL 33712			FENESTRATION		
WIDTH	HEIGHT	FRONT	SF		SF
23	9.5	218.5			
TOTAL AREA		219			
FENESTRATION REQUIRED		20%			66
GLASS REQUIRED		50%			33
		FENESTRATION SUPPLIED			
		WINDOWS & TRIM WORK			
FAMILY ROOM	5.2	6.2	32.24		
DINING ROOM	5.2	6.2	32.24		
ENTRY DOOR	4	7.2	28.8		
TOTAL FENESTRATION AREA					93
		GLASS SUPPLIED			
FAMILY ROOM	4.3	5.2	22.36		
DINING ROOM	4.3	5.2	22.36		
ENTRY DOOR	1.8	5.3	9.54		
TOTAL GLASS AREA					54
		RIGHT SIDE	30% SF		
WIDTH	HEIGHT				
15.9	9	143.1			
TOTAL AREA		143			
FENESTRATION REQUIRED		20%			29
GLASS REQUIRED		50%			14
		FENESTRATION SUPPLIED			
		WINDOWS & TRIM WORK			
FAMILY ROOM	4.3	5.2	22.36		
	1.9	5.2	9.88		
TOTAL FENESTRATION AREA					32
		GLASS SUPPLIED			
FAMILY ROOM	4.3	5.2	22.36		
	1.9	5.2	9.88		
TOTAL GLASS AREA					32
		LEFT SIDE	30% SF		
WIDTH	HEIGHT				
15.9	9	143.1			
TOTAL AREA		143			
FENESTRATION REQUIRED		20%			29
GLASS REQUIRED		50%			14
		FENESTRATION SUPPLIED			
		WINDOWS & TRIM WORK			
DINING ROOM	5.2	6.2	32.24		
TOTAL FENESTRATION AREA					32
		GLASS SUPPLIED			
DINING ROOM	4.3	5.2	22.36		
TOTAL GLASS AREA					22

ZONING BFE SETBACKS		SITE DATA	LOT 2	NT1 X
FRONT - OPEN PORCH		REQUIRED 18	PROVIDED 18	
FRONT - BUILDING		25	25	
REAR - ALLEY		10	10	
SIDE - LEFT		12.0	13	
SIDE - RIGHT - 10% OF WIDTH		4.3	5	
HEIGHT - ROOF EAVE		24	20.5	
HEIGHT - PEAK		36	25.3	
MAX LOT COVERAGE				50%
FAR				40%
IRS				65%
LOT SIZE	41	88	3608	
BUILDING COVERAGE				
COVERED ENTRY	161			
AC	966			
GARAGE	253			
TOTAL BUILDING COVERAGE			1380	
STEP	5			
FRONT SIDEWALK	68			
DRIVEWAY	310			
DRIVEWAYS/SIDEWALK			1763	
TOTAL FAR			27%	
TOTAL IRS			49%	
FRONT 25' COVERAGE	MAX			45%
LOT SIZE	41	25	1025	
COVERED ENTRY	161			
STEP	5			
FRONT SIDEWALK	68			
TOTAL COVERAGE			234	
TOTAL FAR			23%	

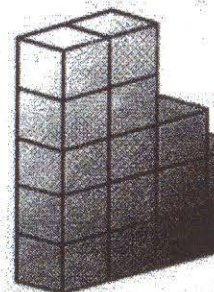
PAGE LEGEND	
PAGE	DESCRIPTION
C-1	SURVEY PAGE LEGEND DESIGN CRITERIA PRODUCT APPROVALS
SP-1	SITE PLAN DRAINAGE LANDSCAPE
A-1	FLOOR PLAN - 1ST & 2ND FLOOR
A-2	ELEVATIONS - ALL SIDES
A-3	FOUNDATION PLAN FLOOR FRAMING PLAN ROOF FRAMING PLAN
A-4	WALL SECTIONS
E-1	ELECTRIC PLAN

<u>SQUARE FOOT LEGEND</u>		
AC SF - 1 ST FLOOR	966	
AC SF - 2 ND FLOOR	614	
TOTAL AC SF		1580
GARAGE	253	
COVERED ENTRY	161	
TOTAL SE UNDER ROOF		1994

ALL MECHANICAL TRADES TO BE
INSTALLED BY LICENSED
CONTRACTORS

BRIAN REED, PE
LICENSE 60228

DESIGNER



LEGACY
DESIGN
GROUP

727-439-3337

ENGINEER

BRIAN REED, PE
(727) 510-2688
769 42ND AVENUE NORTH
ST PETERSBURG, FL 33703

BUILDER

PROJECT NAME

TOP 2 BOTTOM SPEC 1
LOT 1
XXXX 15TH AVENUE SOUTH
ST PETERSBURG, FL 33712

ISSUED 9/8/21

REVISED

SITE PLAN
LANDSCAPE PLAN

SCALE 1/4" = 1'-0"

SHEET

SP - 1

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LANDSCAPE SCHEDULE			
MARK	DESCRIPTION	HEIGHT	TYPICAL SPECIES
	LARGE TREE	10' - 12'	MAPLE, SYCAMORE, LIVE OAK
	SMALL TREE	10' - 12'	CREPE MYRTLE, BOTTLE BRUSH
	TALL HEDGE	3' - 5'	VIBURNUM, SILVER BUTTERNUT
	LOW HEDGE	12" - 24"	CROTON, ARBORECOLA
	LOW PLANTS	6" - 12"	LIROPE, JUNCUS, JASMINE
ALL GREEN AREAS NOT COVERED BY PLANT SHALL BE SOODED WITH BANIA GRASS			
AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED FOR ENTIRE LOT			
CONNECTED TO CITY RECLAIMED WATER SUPPLY			
ALL LANDSCAPE PRODUCT SHALL BE GRADE 1 OR BETTER			

19TH STREET SOUTH

CONCRETE CURB

CONCRETE CURB

POWER
POLE

PROPERTY LINE
88.00

CONCRETE DRIVEWAY

PROPERTY LINE
41.0

POWER
POLE

TWO STORY SINGLE FAMILY

GARAGE
SLOPE LAST 10-0

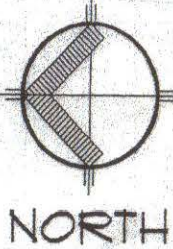
4" FENCE

COND

COVERED ENTRY

PROPERTY LINE
88.03

SQUARE FOOT LEGEND	
AC SF - 1 ST FLOOR	966
AC SF - 2 ND FLOOR	614
TOTAL AC SF	1580
GARAGE	253
COVERED ENTRY	181
TOTAL SF UNDER ROOF	1994



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ST PETERSBURG, FL 33703

BUILDER

PROJECT NAME

TOP 2 BOTTOM SPEC 1
LOT 1
XXXX 15TH AVENUE SOUTH
ST PETERSBURG, FL 33712

ISSUED 9/8/21

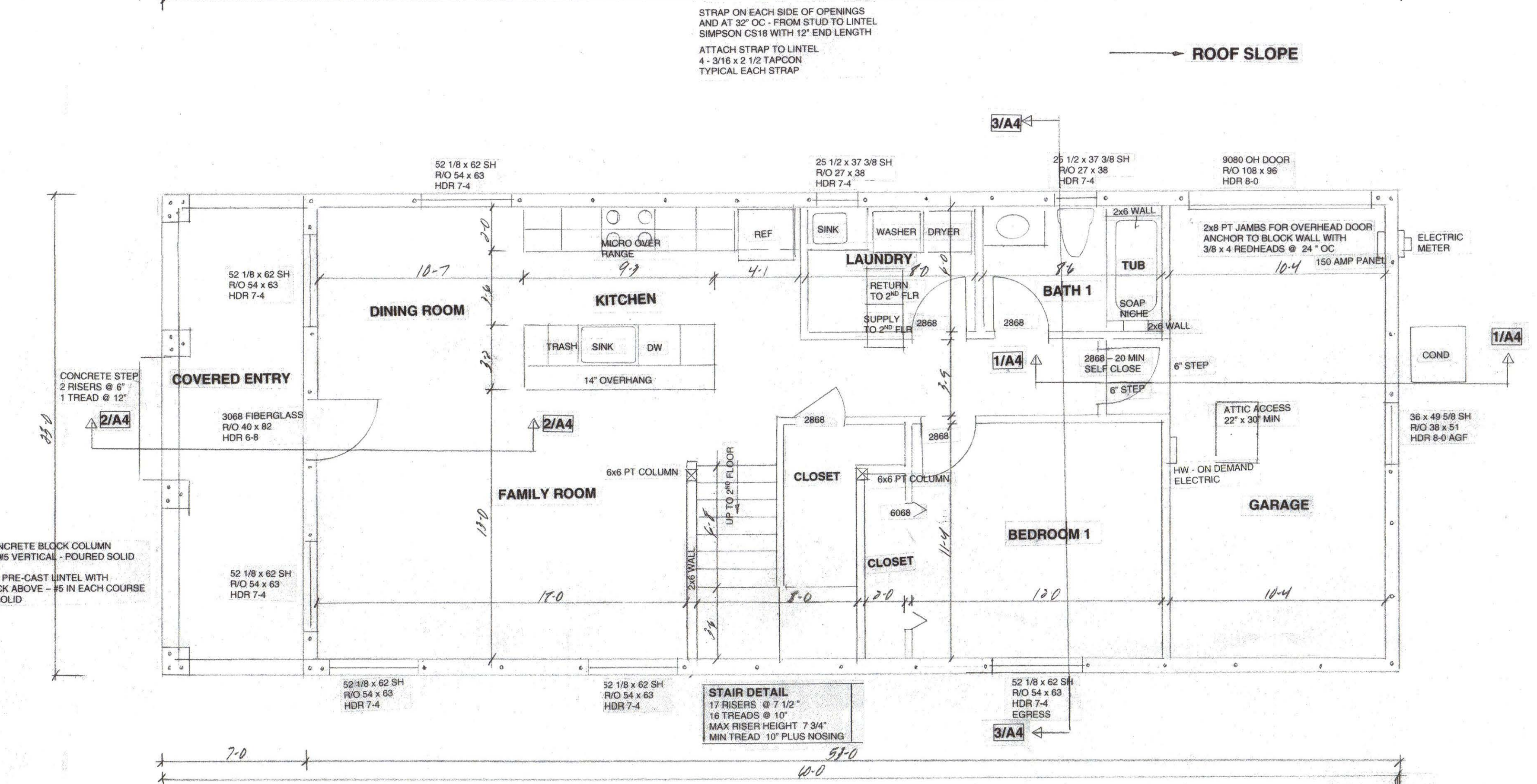
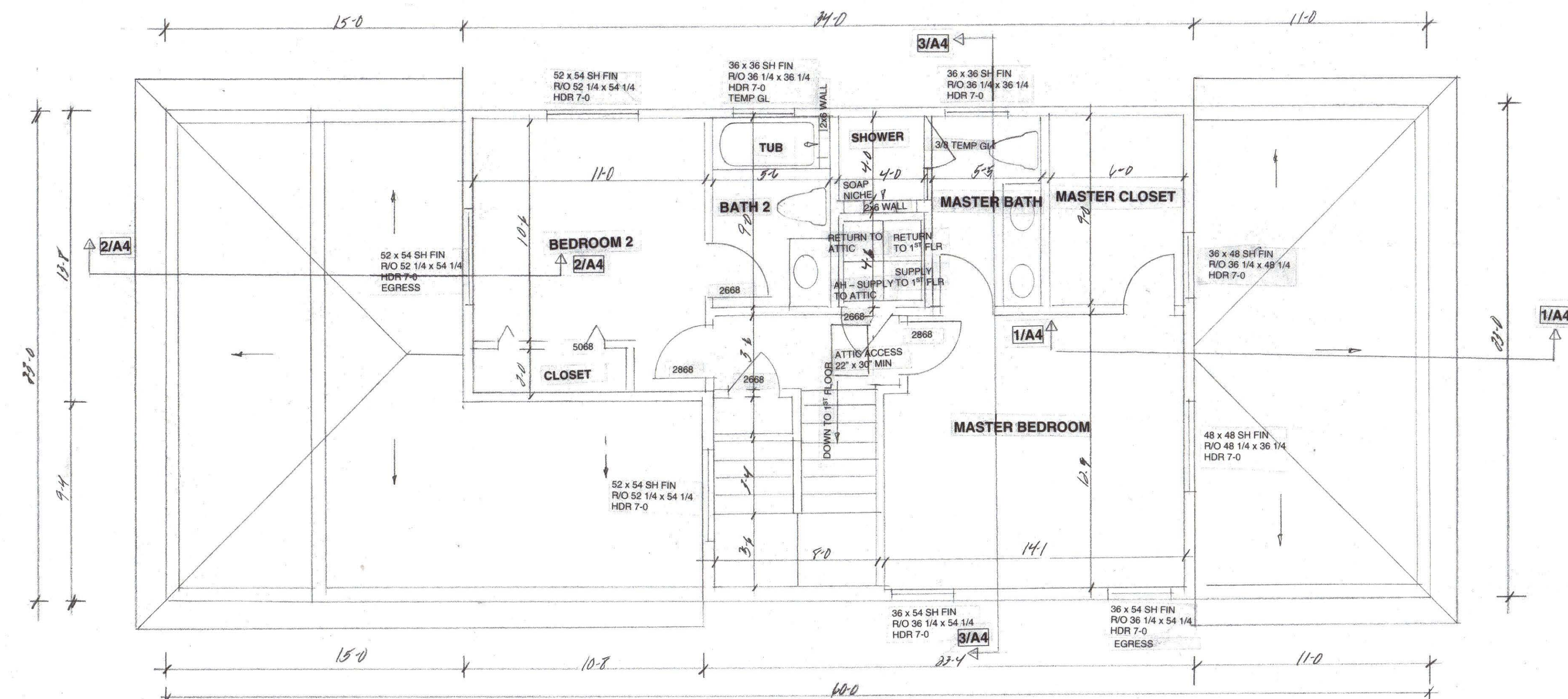
REVISED

FLOOR PLAN
1ST & 2ND FLOOR

SCALE 1/4" = 1'-0"

SHEET
A - 1

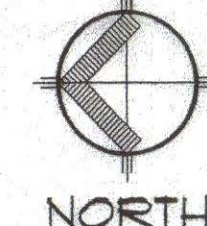
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1 #5 VERTICAL ROD AT ALL CORNERS,
ON EACH SIDE OF OPENINGS AND AT 48" OC
1 #5 VERTICAL ROD
FROM FILLED BLOCK TO FOOTER
LAP STEEL 25" MINIMUM
HOOK VERTICAL STEEL
12" INTO U-BLOCK

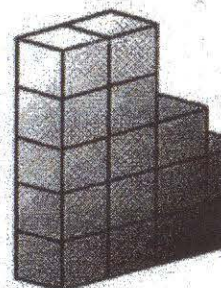
ALL ROUGH OPENING DIMENSIONS
SHALL BE VERIFIED BY CONTRACTOR

SQUARE FOOT LEGEND	
AC SF - 1 ST FLOOR	966
AC SF - 2 ND FLOOR	614
TOTAL AC SF	1580
GARAGE	253
COVERED ENTRY	161
TOTAL SF UNDER ROOF	1994



ALL MECHANICAL TRADE TO BE
INSTALLED BY LICENSED
CONTRACTORS
BRIAN REED, PE
LICENSE 60228

DESIGNER



LEGACY
DESIGN
GROUP

727-439-3337

ENGINEER

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LICENSE 60228
769 42ND AVENUE NORTH
ST PETERSBURG, FL 33703

BUILDER

PROJECT NAME

TOP 2 BOTTOM SPEC 1
LOT 1
XXXX 15TH AVENUE SOUTH
ST PETERSBURG, FL 33712

ISSUED 9/8/21

REVISED

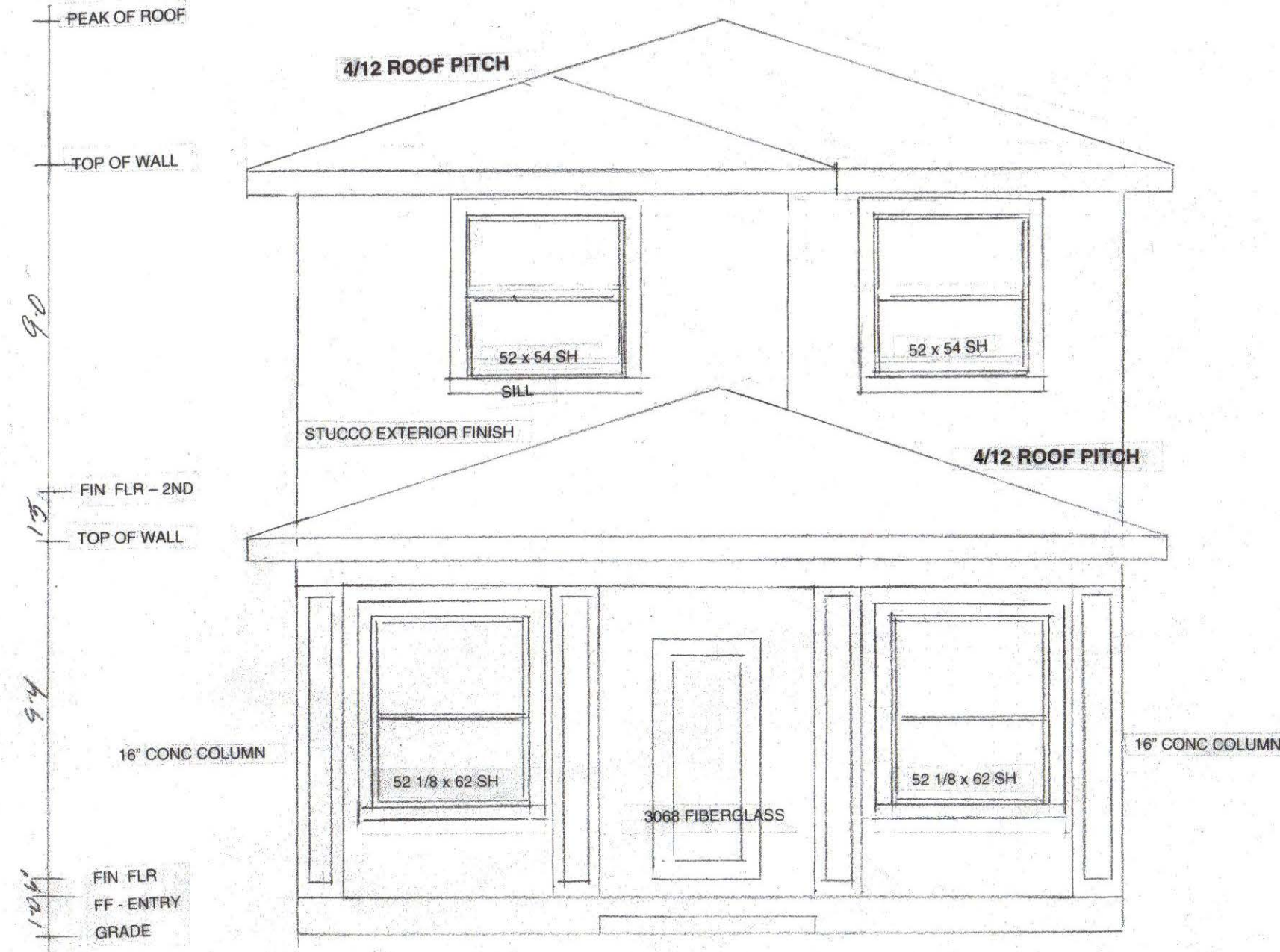
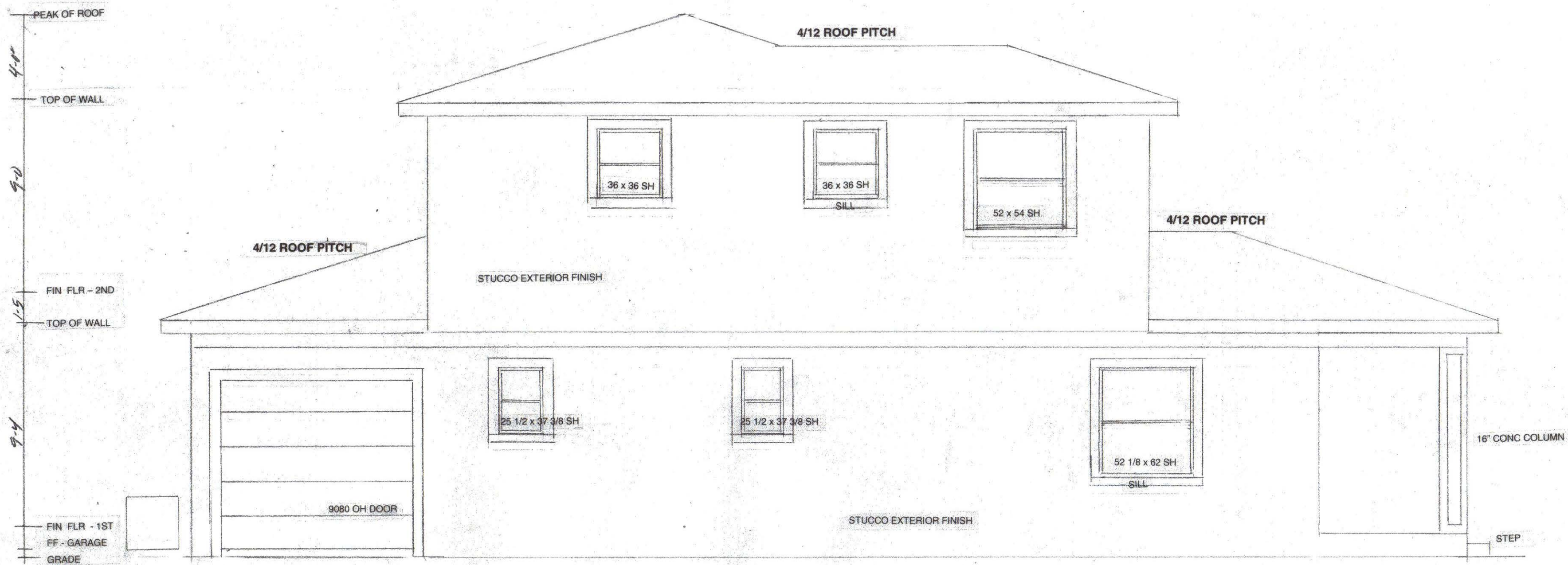
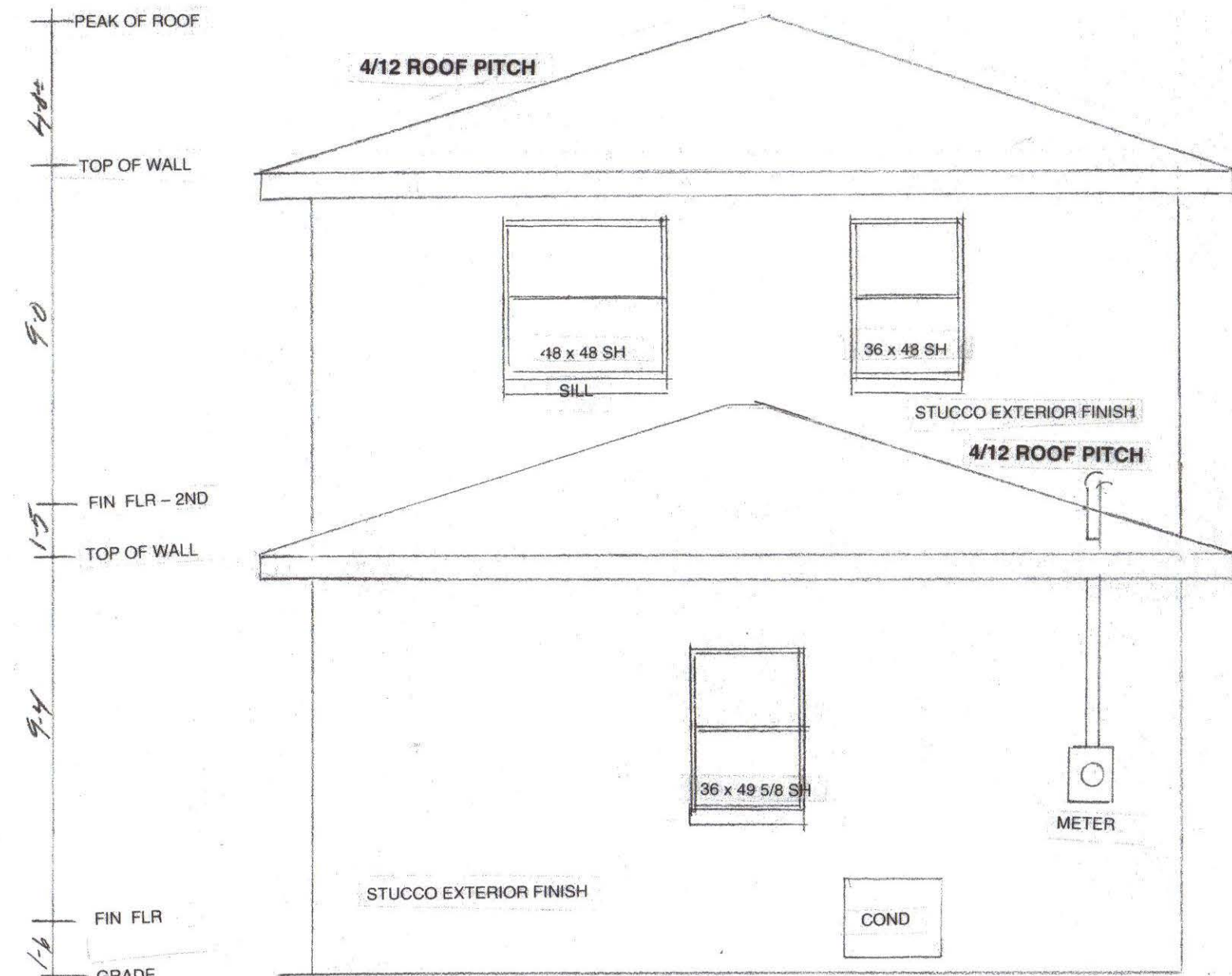
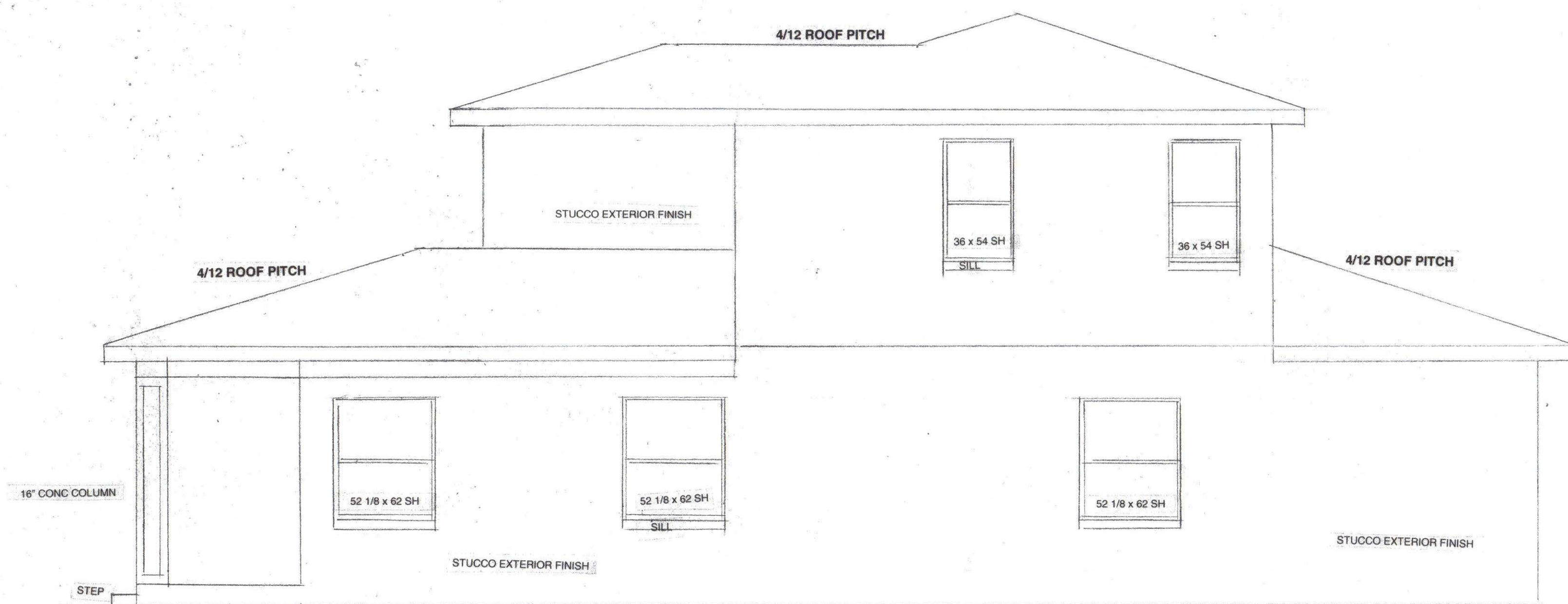
ELEVATIONS
ALL SIDES

SCALE 1/4" = 1'-0"

SHEET

A - 2

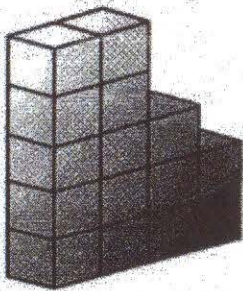
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ALL MECHANICAL TRADES TO BE
INSTALLED BY LICENSED
CONTRACTORS

BRIAN REED, PE
LICENSE 60228

DESIGNER

LEGACY
DESIGN
GROUP

727-439-3337

ENGINEER

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769 42ND AVENUE NORTH
ST PETERSBURG, FL 33703

BUILDER

PROJECT NAME

TOP TO BOTTOM SPEC 2
XXXX-15TH AVE S - LOT 2
ST PETERSBURG, FL 33712

ISSUED 9/8/21

REVISED

SURVEY/SITE DATA
PAGE LEGEND
DESIGN CRITERIA
PRODUCT APPROVAL

SCALE 1/4" = 1'-0"

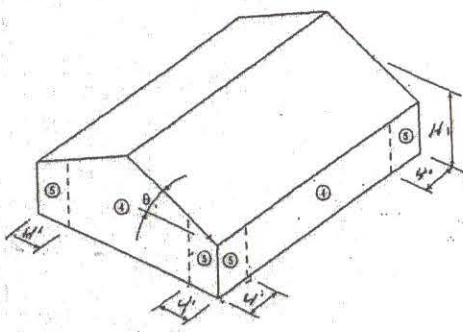
SHEET

C - 1

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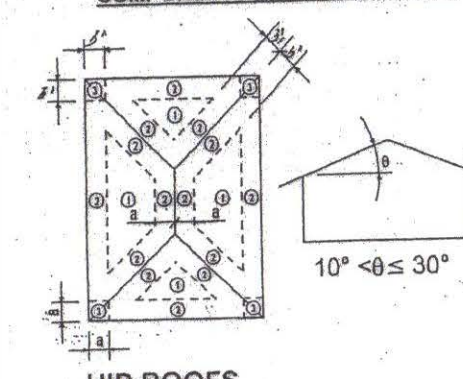
FLORIDA PRODUCT APPROVAL			
CATEGORY/SUBCATEGORY	MANUFACTURER	PRODUCT DESCRIPTION	APPROVAL NUMBER
EXTENSION DOORS	THERMATRU	FIBER GLASS - FIBERGLASS SOL	FL20488.1
	THERMATRU	FIBER GLASS - FIBERGLASS SOL 6.4	FL20488.1
SWINGING	OH OVERHEAD DOOR	OH DOOR TO 21-6 WIDE	FL10112.4
WINDOWS	PST INDUSTRIES	SH-5550 VINYL IMPACT	FL1485.5
	PST INDUSTRIES	HEAVY DUTY 1X AND STANDARD 1X	FL201.1
SINGLE HUNG			
MULLION			
PANEL WALL	KAYCAN	VINYL & ALUMINUM	FL18009.1
SOFFITS			
ROOFING PRODUCTS	POLYGLASS	MITSELF ADHERING METAL TILE SHINGLES	FL509.1
	POLYGLASS	MODIFIED BITUMEN	FL1804.1
LOW SLOPE ROOF SYSTEM	DAF	THINSLATE 20	FL10124.1
RAFTER SHINGLES			
STRUCTURAL COMPONENTS			
WOOD CONNECTORS	SIMPSON	HETAN DRESSED TRUSS ANCHOR	FL11470.3
WOOD CONNECTORS	SIMPSON	H10 HURRICANE TIE	FL10466.3
WOOD CONNECTORS	SIMPSON	NTSMX TWIST STRAP	FL11470.12
CONCRETE LEVELS	EAST CRETE	PRE-CAST LEVEL	FL188.3
ENGINEERED LUMBER	WEYERHAEUSER	MICROLAM LVL	FL882.1

COMPONENTS & CLADDING ZONES



WALLS

COMPONENTS & CLADDING ZONES



HIP ROOFS

10° < θ ≤ 30°

DESIGN AND MATERIAL CRITERIA

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COMPONENTS & CLADDING: ALL COMPONENTS TO MEET WIND ZONE DESIGN PRESSURE REQUIREMENTS AS PER SSTO GRADE 1. ALL COMPONENTS IN ALL ZONES TO MEET DESIGN PRESSURES TYPICAL FOR END ZONE REQUIREMENTS.

ALL NEW WINDOWS AND DOORS MUST HAVE AN APPROVED LABEL FROM AAMA OR WDMA WITH A DESIGN PRESSURE MEETING OR EXCEEDING THE REQUIRED DESIGN PRESSURE. ALL WINDOWS AND DOORS MUST BE INSTALLED PER MANUFACTURE SPECIFICATIONS.

ALL ROOF SYSTEMS MUST BE INSTALLED PER MANUFACTURE SPECIFICATIONS AND WIND TEST NOTICE OF APPROVAL. ALL ROOFING MATERIALS TO BE CLASS A COMPLIANT.

DESIGN LOADS
SECTION 1609 - FEB 2020
DESIGN BUILDING - EXPOSURE B
ROOF ANGLE: 7 - 27 DEGREES (272 - 512)

WIND SPEED
PRESSURE (PSF)

ZONE	WIND SPEED	WIND PRESSURE (PSF)
1	10	+20.3 / -32.3
2	20	+18.7 / -31.4
3	30	+16.1 / -30.2
4	40	+14.3 / -29.3
5	50	+12.5 / -28.2
6	60	+10.7 / -27.1
7	70	+8.9 / -25.9
8	80	+7.1 / -24.7
9	90	+5.3 / -23.5
10	100	+3.5 / -22.3
11	110	+1.7 / -21.1
12	120	-0.1 / -19.9
13	130	-1.7 / -18.7
14	140	-3.3 / -17.5
15	150	-4.9 / -16.3
16	160	-6.5 / -15.1
17	170	-8.1 / -13.9
18	180	-9.7 / -12.7
19	190	-11.3 / -11.5
20	200	-12.9 / -10.3
21	210	-14.5 / -9.1
22	220	-16.1 / -7.9
23	230	-17.7 / -6.7
24	240	-19.3 / -5.5
25	250	-20.9 / -4.3
26	260	-22.5 / -3.1
27	270	-24.1 / -1.9
28	280	-25.7 / -0.7
29	290	-27.3 / 0.5
30	300	-28.9 / 1.7
31	310	-30.5 / 2.9
32	320	-32.1 / 4.1
33	330	-33.7 / 5.3
34	340	-35.3 / 6.5
35	350	-36.9 / 7.7
36	360	-38.5 / 8.9
37	370	-40.1 / 10.1
38	380	-41.7 / 11.3
39	390	-43.3 / 12.5
40	400	-44.9 / 13.7
41	410	-46.5 / 14.9
42	420	-48.1 / 16.1
43	430	-49.7 / 17.3
44	440	-51.3 / 18.5
45	450	-52.9 / 19.7
46	460	-54.5 / 20.9
47	470	-56.1 / 22.1
48	480	-57.7 / 23.3
49	490	-59.3 / 24.5
50	500	-60.9 / 25.7
51	510	-62.5 / 26.9
52	520	-64.1 / 28.1
53	530	-65.7 / 29.3
54	540	-67.3 / 30.5
55	550	-68.9 / 31.7
56	560	-70.5 / 32.9
57	570	-72.1 / 34.1
58	580	-73.7 / 35.3
59	590	-75.3 / 36.5
60	600	-76.9 / 37.7
61	610	-78.5 / 38.9
62	620	-80.1 / 40.1
63	630	-81.7 / 41.3
64	640	-83.3 / 42.5
65	650	-84.9 / 43.7
66	660	-86.5 / 44.9
67	670	-88.1 / 46.1
68	680	-89.7 / 47.3
69	690	-91.3 / 48.5
70	700	-92.9 / 49.7
71	710	-94.5 / 50.9
72	720	-96.1 / 52.1
73	730	-97.7 / 53.3
74	740	-99.3 / 54.5
75	750	-100.9 / 55.7
76	760	-102.5 / 56.9
77	770	-104.1 / 58.1
78	780	-105.7 / 59.3
79	790	-107.3 / 60.5
80	800	-108.9 / 61.7
81	810	-110.5 / 62.9
82	820	-112.1 / 64.1
83	830	-113.7 / 65.3
84	840	-115.3 / 66.5
85	850	-116.9 / 67.7
86	860	-118.5 / 68.9
87	870	-120.1 / 70.1
88	880	-121.7 / 71.3
89	890	-123.3 / 72.5
90	900	-124.9 / 73.7
91	910	-126.5 / 74.9
92	920	-128.1 / 76.1
93	930	-129.7 / 77.3
94	940	-131.3 / 78.5
95	950	-132.9 / 79.7
96	960	-134.5 / 80.9
97	970	-136.1 / 82.1
98	980	-137.7 / 83.3
99	990	-139.3 / 84.5
100	1000	-140.9 / 85.7

CONCRETE REINFORCING STEEL
ALL REINFORCING STEEL FOR GENERAL USE SHALL BE GRADE 60 ASTM A615 AND REINFORCING STEEL FOR BEAMS SHALL BE GRADE 80 ASTM A615.

MASONRY
1. COMPREHENSIVE STRENGTH REQUIREMENT IS 8 IN. 1500 PSI
2. MORTAR FOR MASONRY SHALL BE TYPE S OR TYPE M
3. GROUT BLOCK FILLED CELLS SHALL HAVE A MINIMUM COMPREHENSIVE STRENGTH OF 2500 PSI AT 28 DAYS AT AN 8" TO 10" SLUMP
4. VERTICAL WALL REINFORCEMENT SHALL HAVE A MINIMUM LAP OF 36" UNLESS NOTED OTHERWISE
5. GROUT SHALL BE FLOUED IN LIPS NOT TO EXCEED 94"
6. ALL EXTERIOR WALLS SHALL BE SHEAR WALLS

WOOD FRAMING
1. ALL ROOF STRUCTURAL LUMBER SHALL BE #2 SOUTHERN PINE OR EQUIVALENT, EXCEPT AS SHOWN ON DRAWINGS
2. ALL WALL FRAMING LUMBER SHALL BE #2 SPRUCE, PINE, FIR OR BETTER, UNLESS NOTED
3. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESURE TREATED OR SEPARATED WITH A METAL PLATE OR VAPOR BARRIER
4. ORIENTED STRAND BOARD (OSB) SHEATHING SHALL BE AN ACCEPTABLE SUBSTITUTE FOR DOX ON WALLS & ROOF SHEATHING
5. TYPICAL ATTACHMENT FOR STRAPS TO CONCRETE Lintel 4 - 3/16" x 1/4" TAPCON IN EACH STRAP UNLESS NOTED
6. TYPICAL BEAM NAILING - 2 ROWS 16d NAILS STAGGERED AT 12" OC ON EACH FACE
7. DESIGNER OF RECORD SHALL ASSURE THAT NEW ROOF TRUSSES ARE CODE COMPLIANT

NAILING SCHEDULE
ALL NAILS SHALL BE 8d GALVANIZED RING SHANK (FOR ROOF) ON FLOOR, WALL AND ROOF SHEATHING
EDGES 4" OC
FIELD 9" OC

CONTRACTOR SHALL FURNISH COPIES OF ALL PERTINENT PRODUCT APPROVALS, PERFORMANCE DATE AND INSTALLATION REQUIREMENTS TO THE INSPECTOR PRIOR TO INSTALLATION THAT WILL ASSURE THE SYSTEMS AND ASSEMBLIES WILL EQUAL OR EXCEED THE REQUIRED MINIMUM DESIGN WIND LOADS

PROTECTION OF OPENINGS
ALL NEW WINDOWS AND GLASS DOORS SHALL BE IMPACT GLASS, ACCORDING TO THE PROVISIONS OF CHAPTER 16 OF THE 2020 FLORIDA BUILDING CODE
ALL NEW EXTERIOR WINDOW AND DOOR ASSEMBLIES SHALL MEET THE REQUIREMENTS OF CHAPTER 17 FOR LABELING AND ANCHORAGE METHODS.

TOP 2 BOTTOM - LOT 2			
XXXX 15TH AVENUE SOUTH			
ST PETERSBURG, FL 33712			
WIDTH	HEIGHT	FRONT	SF
31	9.5	294.5	295
TOTAL AREA			
FENESTRATION REQUIRED			
GLASS REQUIRED			
FENESTRATION SUPPLIED			
WINDOWS & TRIM WORK			
FAMILY ROOM			
ENTRY DOOR			
TOTAL FENESTRATION AREA			
GLASS SUPPLIED			
FAMILY ROOM			
ENTRY DOOR			
TOTAL GLASS AREA			
WIDTH	HEIGHT	RIGHT SIDE	30% SF
15	9	135	54
TOTAL AREA			
FENESTRATION REQUIRED			
GLASS REQUIRED			
FENESTRATION SUPPLIED			
WINDOWS & TRIM WORK			
GARAGE			
TOTAL FENESTRATION AREA			
GLASS SUPPLIED			
GARAGE			
MASTER BATH			
TOTAL GLASS AREA			
WIDTH	HEIGHT	LEFT SIDE	30% SF
15.9	9	143.1	29
TOTAL AREA			
FENESTRATION REQUIRED			
GLASS REQUIRED			
FENESTRATION SUPPLIED			
WINDOWS & TRIM WORK			
FAMILY ROOM			
TOTAL FENESTRATION AREA			
GLASS SUPPLIED			
FAMILY ROOM			
TOTAL GLASS AREA			

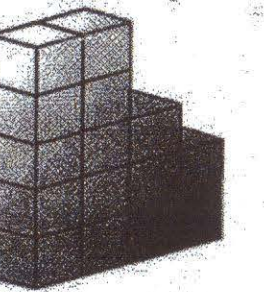
ZONING			
BFE			
SETBACKS			
FRONT - OPEN PORCH			
FRONT - BUILDING			
REAR - ALLEY			
SIDE - LEFT - 10% OF WIDTH			
SIDE - RIGHT - 10% OF WIDTH			
HEIGHT - ROOF			
HEIGHT - PEAK			
MAX LOT COVERAGE			
FAR			
IRS			
LOT SIZE			
COVERED ENTRY			
AC			
GARAGE			
TOTAL BUILDING COVERAGE			
FRONT SIDEWALK			
DRIVEWAYS/SIDEWALK			
TOTAL FAR			
TOTAL FAR			
FRONT 25' COVERAGE			
LOT SIZE			
COVERED ENTRY			
FRONT SIDEWALK			
DRIVEWAY			
TOTAL COVERAGE			
TOTAL FAR			

PAGE LEGEND	
PAGE	DESCRIPTION
C-1	SURVEY
A-2	ELEVATIONS - ALL SIDES
A-3	FOUNDATION PLAN
A-4	ROOF FRAMING PLAN
A-4	WALL SECTIONS

SQUARE FOOT LEGEND	
AC SF	1369
GARAGE	236
COVERED ENTRY	128
TOTAL SF UNDER ROOF	
1733	

ALL MECHANICAL TRADES TO BE
INSTALLED BY LICENSED
CONTRACTORS

BRIAN REED, PE
LICENSE 60228



**LEGACY
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GROUP**

727-439-3337

ENGINEER

BRIAN REED, PE
(727) 510-2688 LICENSE 60228
769 42ND AVENUE NORTH
ST PETERSBURG, FL 33703

BUILDER

PROJECT NAME

TOP TO BOTTOM SPEC 2
XXXX 15TH AVE S - LOT 2
ST PETERSBURG, FL 33712

ISSUED 9/8/21

REVISED

**FLOOR PLAN
ELECTRIC PLAN**

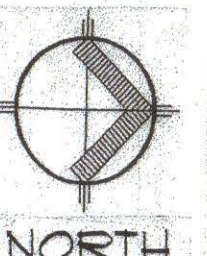
SCALE 1/4" = 1'-0"

SHEET

A - 1

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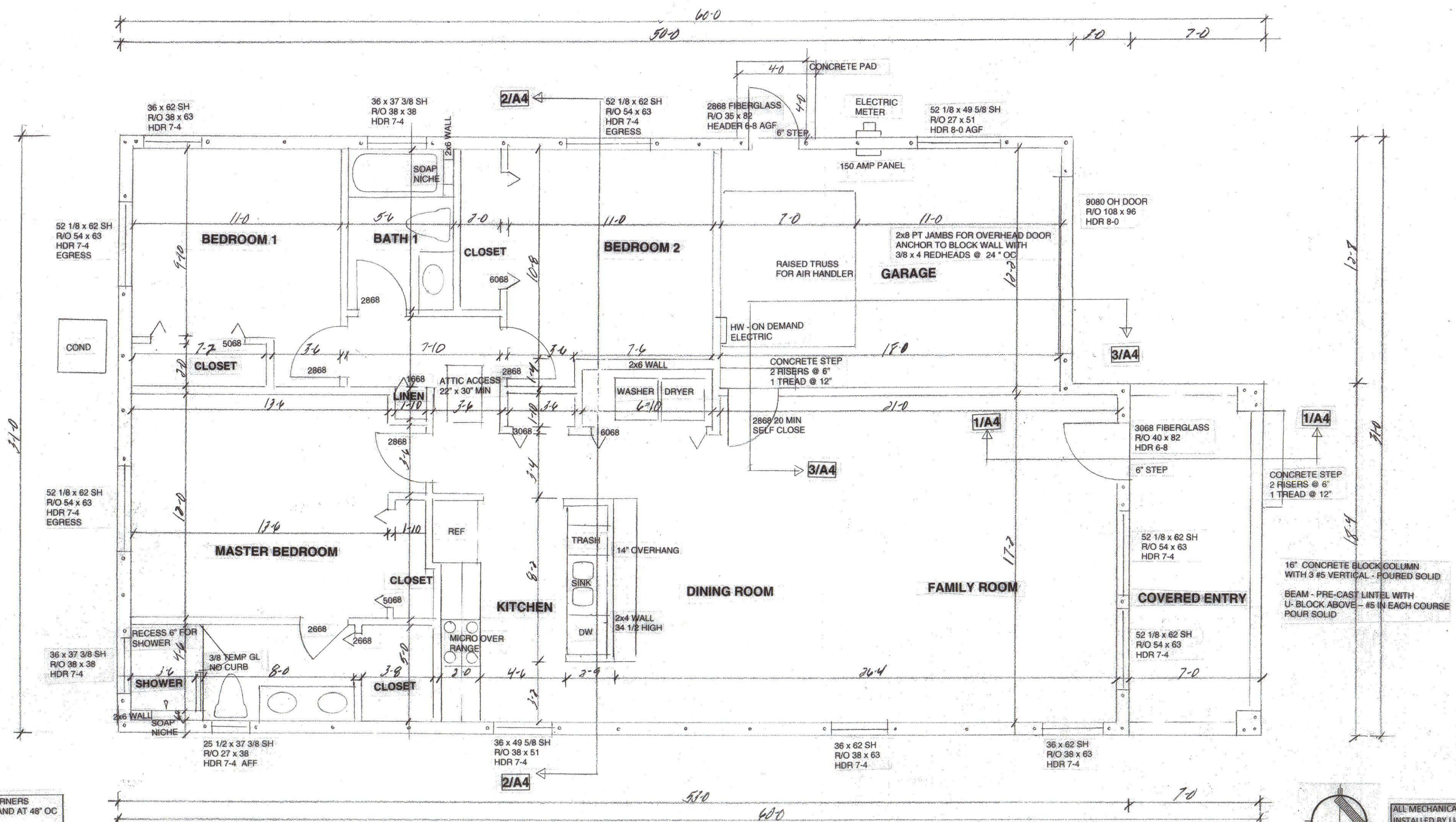


SQUARE FOOT LEGEND

AC SF	1369
GARAGE	236
COVERED ENTRY	128

ALL ROUGH OPENING DIMENSIONS
SHALL BE VERIFIED BY CONTRACTOR

1 #5 VERTICAL ROD AT ALL CORNERS
ON EACH SIDE OF OPENINGS AND AT 48" OC
1 #5 VERTICAL ROD FROM FILLED BLOCK TO FOOTER
LAP STEEL 25" MINIMUM
HOOK VERTICAL STEEL
12" INTO U-BLOCK



ELECTRIC LOAD DATA		
GENERAL LIGHTING	1369 SF @ 3 WATTS	4107
WATER HEATER		9000
DRYER		6000
RANGE		10000
DISHWASHER		1000
DISPOSAL		500
MICROWAVE		1000
SMALL APPLIANCE	(3) 1500VA	4500
TOTAL WATTS		36107
FIRST 10000 WATTS @ 100%		10000
BALANCE OF LOAD @ 40%		10442.8
HEAT STRIP LOAD @ 100%		5000
TOTAL CALCULATED LOAD		25442.8
TOTAL WATTS / 240 VOLTS		106.01
150 AMP SVC NEEDED		
150 AMP SVC PROPOSED		

ELECTRIC NOTES

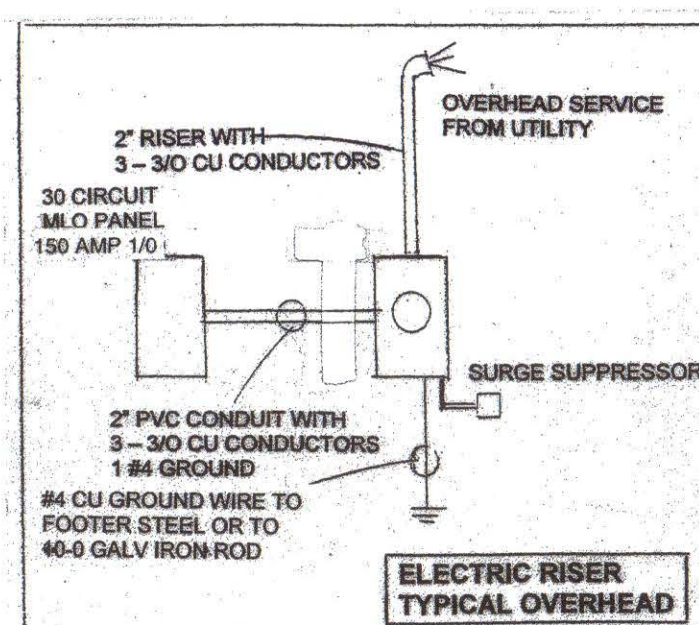
ALL NEW OUTLETS SHALL BE TAMPER PROOF.
ALL NEW CIRCUITS IN OCCUPIED AREAS SHALL BE ARC FAULT
PROTECTED.
ALL SMOKE DETECTORS TO BE HARDWIRED AND
INTERCONNECTED WITH BATTERY BACKUP.
ALL OUTLETS WITHIN 6' OF WATER SHALL BE GFCI
PROTECTED.

AT LEAST 75% OF LIGHTING SHALL BE HIGH EFFICIENCY
BREAKER PANEL TO BE FULLY & ACCURATELY LABELED
HEIGHTS - GENERAL CENTERLINE HEIGHTS
OUTLETS 14" AFF
SWITCHES 48" AFF
KITCHEN 45" AFF
BATHROOM 45" AFF
LAUNDRY 45" AFF
GARAGE 48" AFF
RANGES 2" AFF

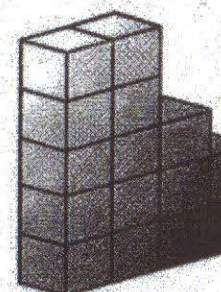
ELECTRIC PLAN IS SCHEMATIC ONLY. ALL WORK SHALL BE
DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC
CODE, LATEST EDITION BY A LICENSED CONTRACTOR.

OWNER SHOULD DO A WALK THROUGH WITH THE
CONTRACTOR AND ELECTRICIAN PRIOR TO WIRING THE
STRUCTURE TO VERIFY FINAL LOCATIONS OF ALL OUTLETS,
SWITCHES, JACKS, ETC. ALSO CEILING LIGHTS AND FANS ON
PLAN ARE REPRESENTATIVE ONLY. TYPES AND LOCATIONS OF
FIXTURES SHOULD BE DETERMINED PRIOR TO HOUSE WIRING.

ELECTRIC NOTES

ELECTRIC RISER
TYPICAL OVERHEAD

DESIGNER



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BUILDER

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TOP TO BOTTOM SPEC 2
XXXX 15TH AVE S - LOT 2
ST PETERSBURG, FL 33712

ISSUED 9/8/21

REVISED

ELEVATIONS
ALL SIDES

SCALE 1/4" = 1'-0"

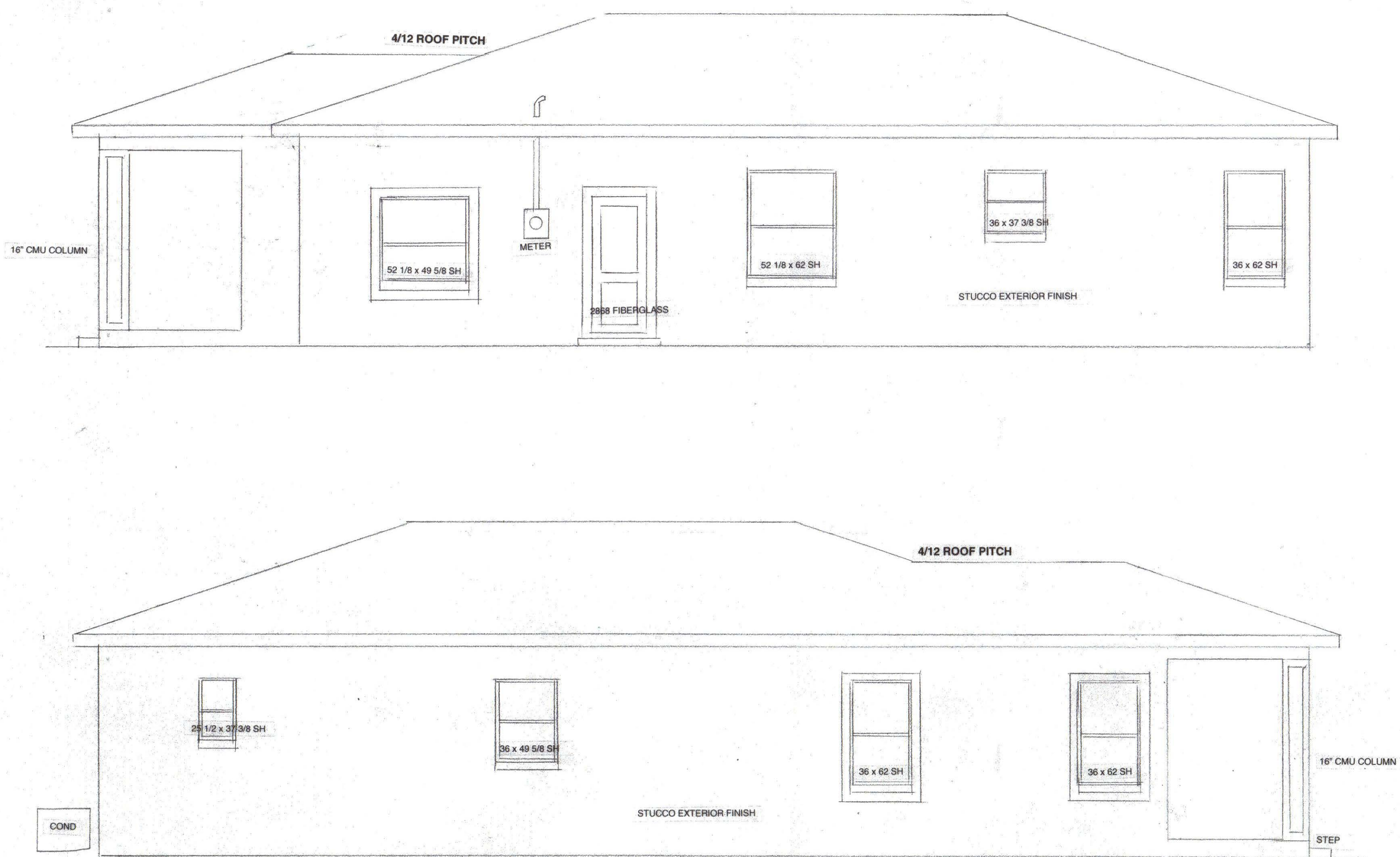
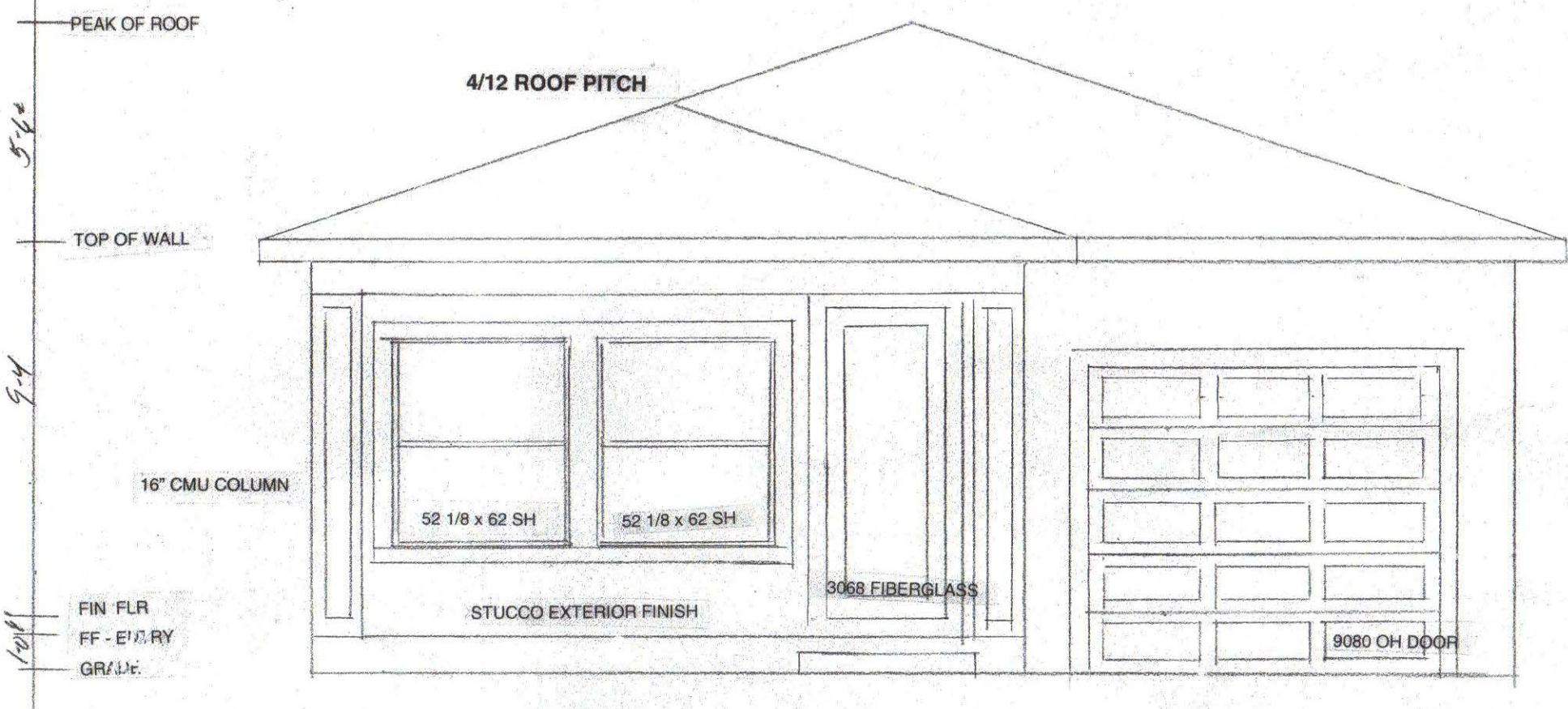
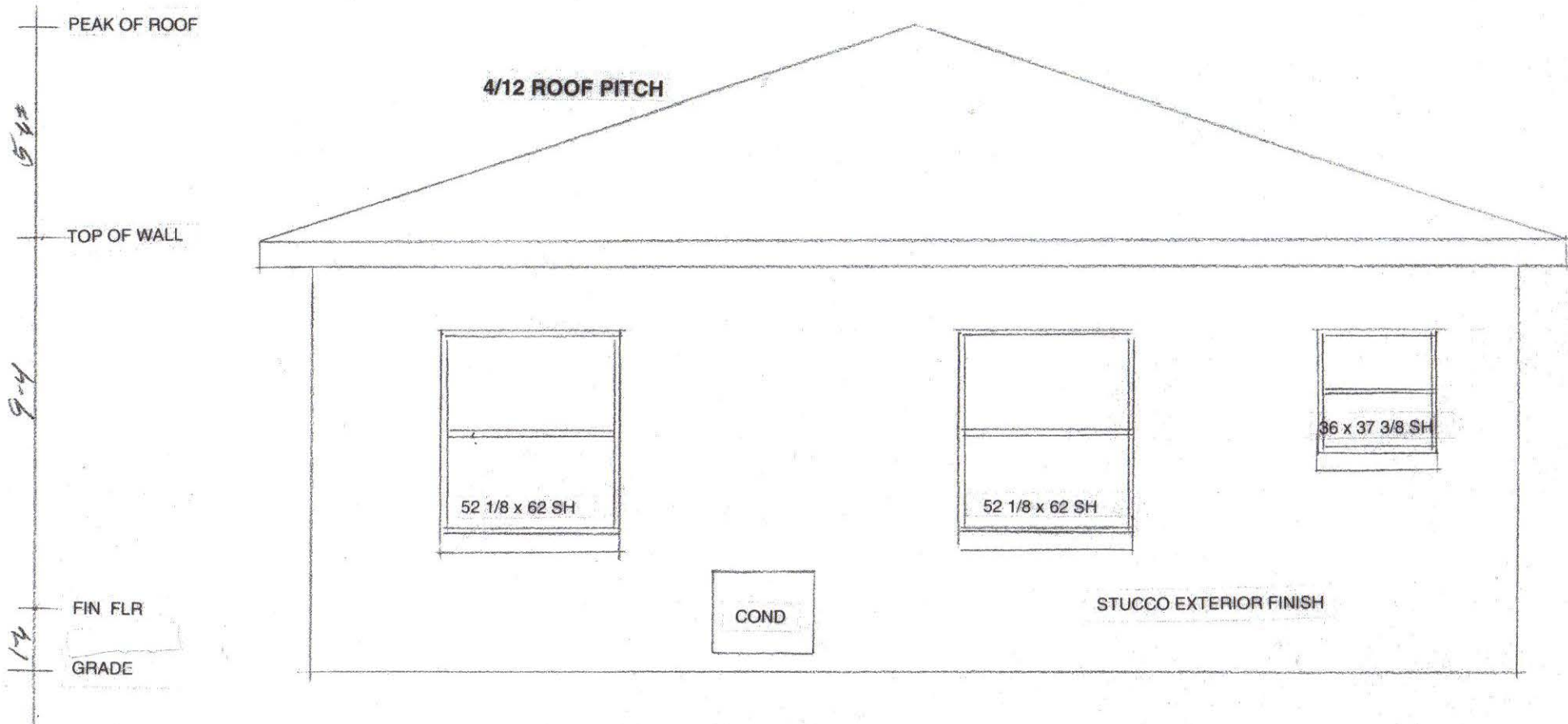
SHEET

A - 2

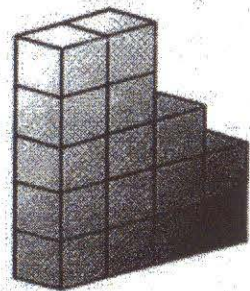
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ENGINEER

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LICENSE 60228
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ST PETERSBURG, FL 33703

BUILDER

PROJECT NAME

**TOP 2 BOTTOM SPEC 3
LOT 3
XXXX 15TH AVENUE SOUTH
ST PETERSBURG, FL 33712**

ISSUED 9/8/21

REVISED

**SITE PLAN
LANDSCAPE PLAN**

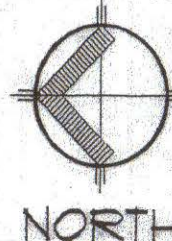
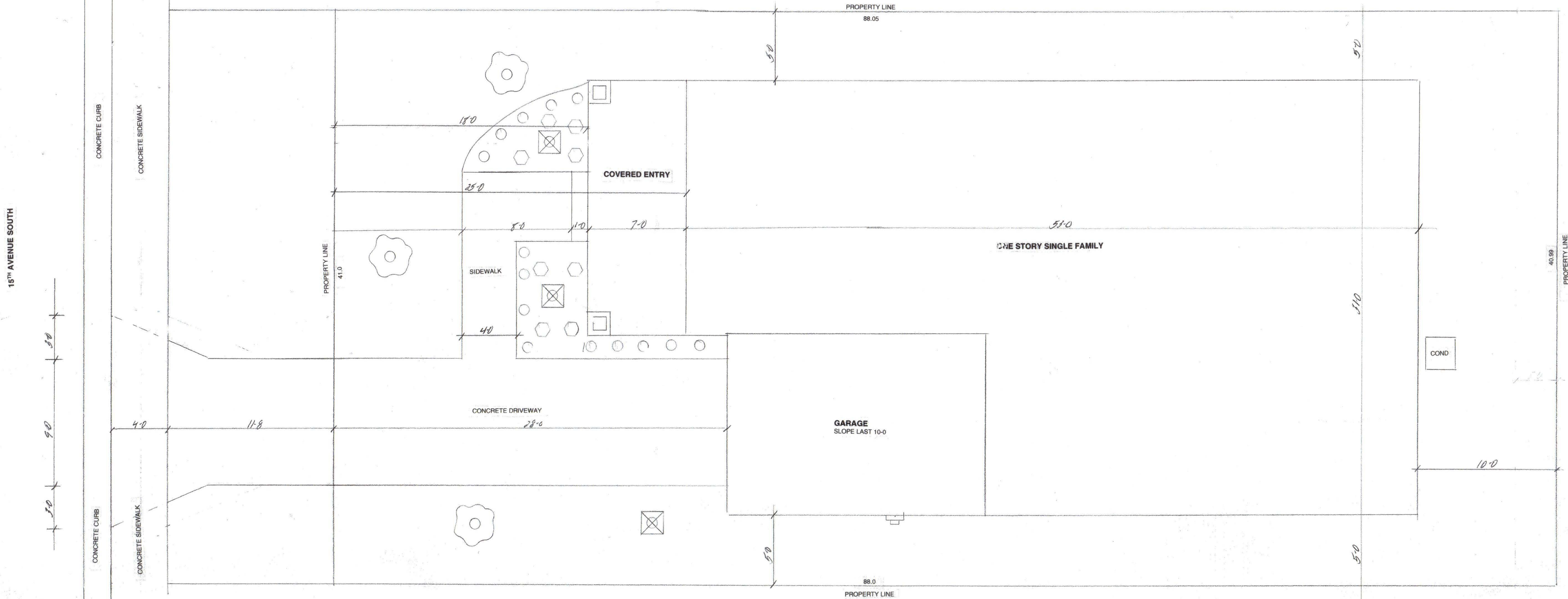
SCALE 1/4" = 1'-0"

SHEET

SP - 1

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LANDSCAPE SCHEDULE			
MARK	DESCRIPTION	HEIGHT	TYPICAL SPECIES
	LARGE TREE	10' - 12'	MAPLE, SYCAMORE, LIVE OAK
	SMALL TREE	10' - 12'	CREPE MYRTLE, BOTTLE BRUSH
	TALL HEDGE	3' - 5'	VIBURNUM, SILVER BUTTOWOOD
	LOW HEDGE	12" - 24"	CROTON, ANACARDIA
	LOW PLANTS	6" - 12"	EUROPE, JUNKER, JASMINE
ALL GREEN AREAS NOT COVERED BY PLANT SHALL BE SOEDDED WITH BAHIA GRASS			
AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED FOR ENTIRE LOT			
CONNECTED TO CITY RECLAIMED WATER SUPPLY			
ALL LANDSCAPE PRODUCT SHALL BE GRADE 1 OR BETTER			



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PROJECT NAME

TOP 2 BOTTOM SPEC 3
LOT 3
XXXX 15TH AVENUE SOUTH
ST PETERSBURG, FL 33712

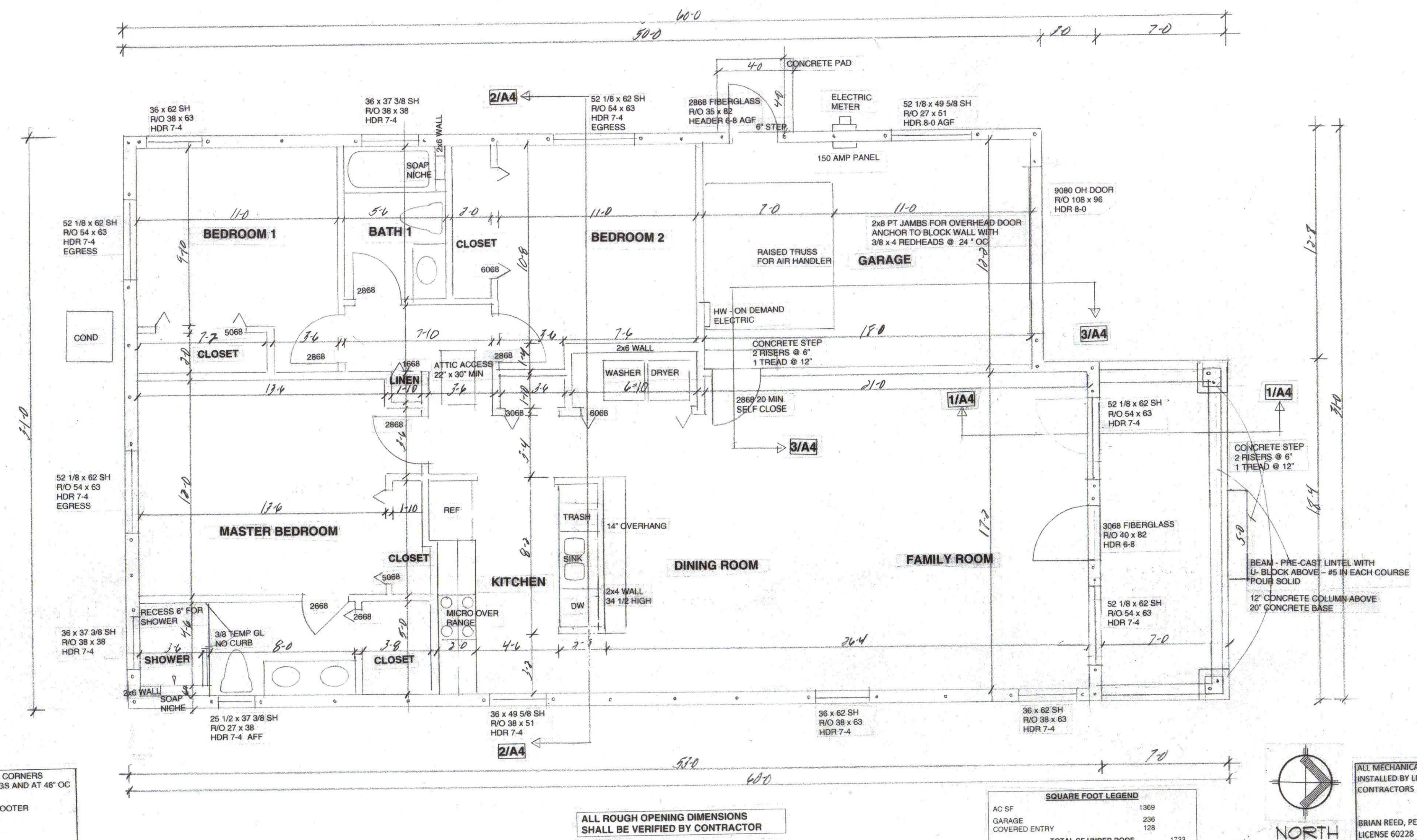
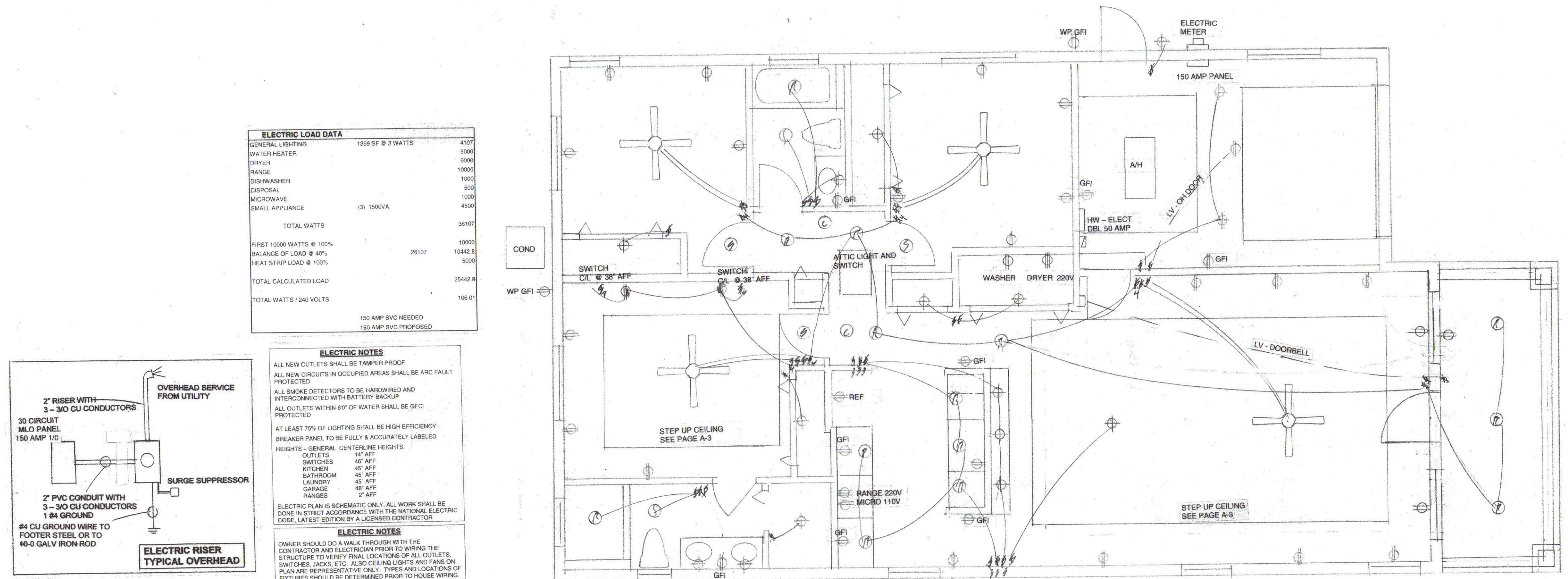
REVISED

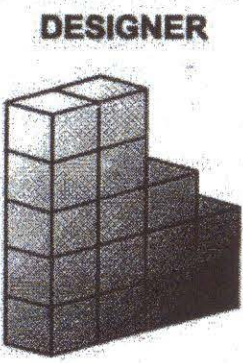
FLOOR PLAN
ELECTRIC PLAN

SHEET

A-1

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BUILDER

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LOT 3
XXXX 15TH AVENUE SOUTH
ST PETERSBURG, FL 33712

ISSUED 9/8/21
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ELEVATIONS
ALL SIDES

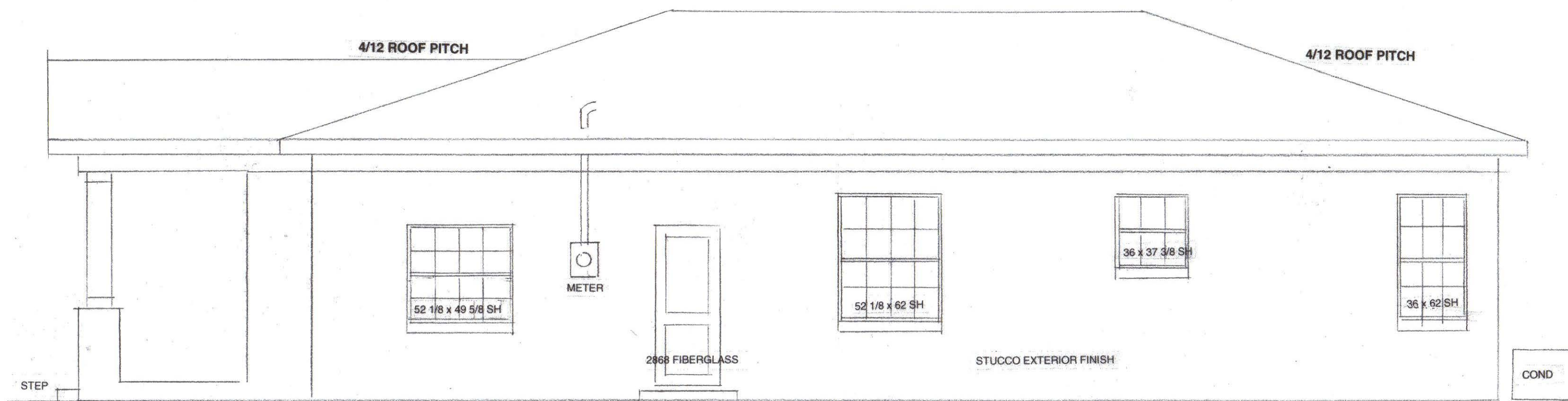
SCALE 1/4" = 1'-0"
SHEET

A - 2

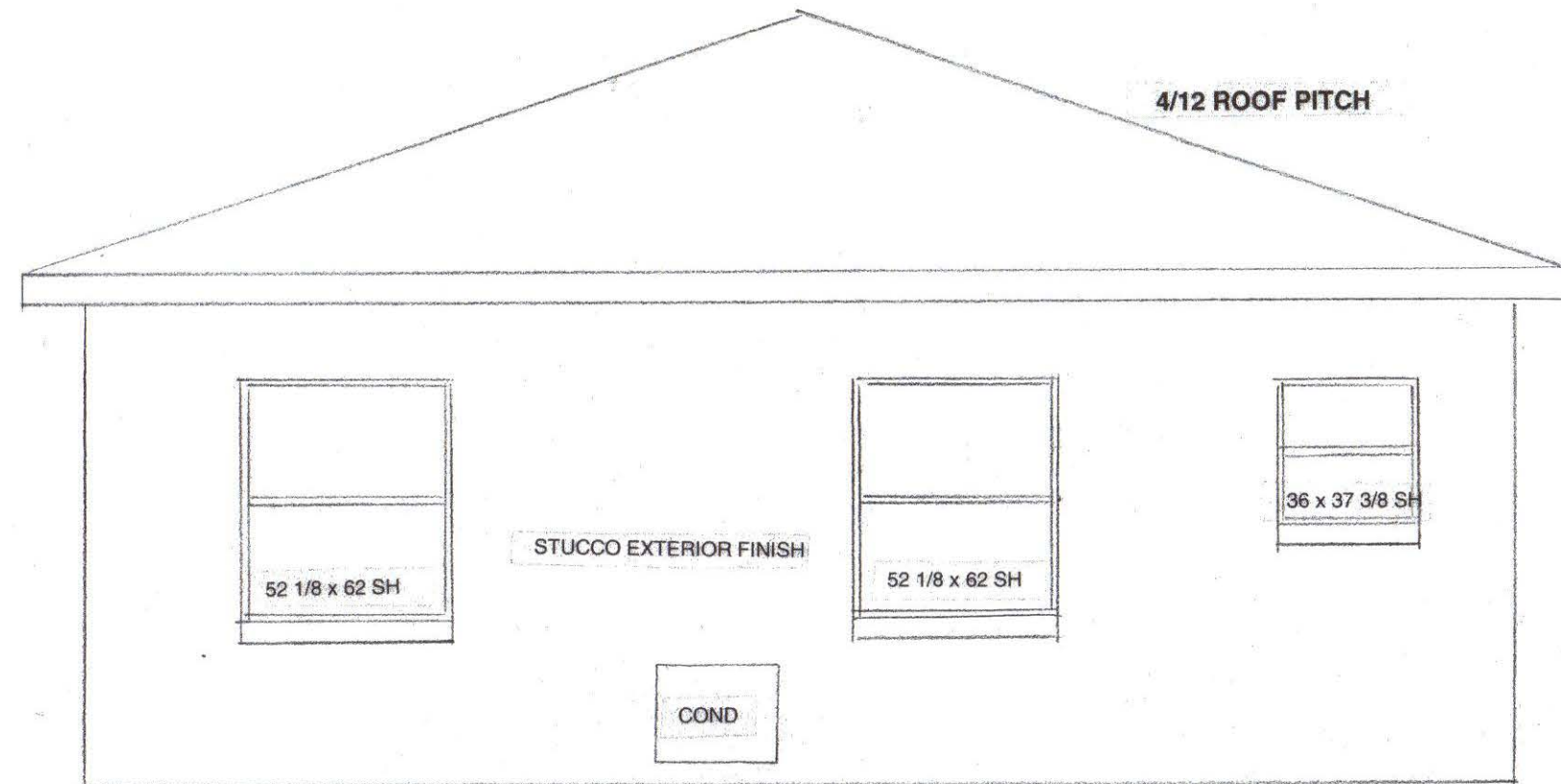
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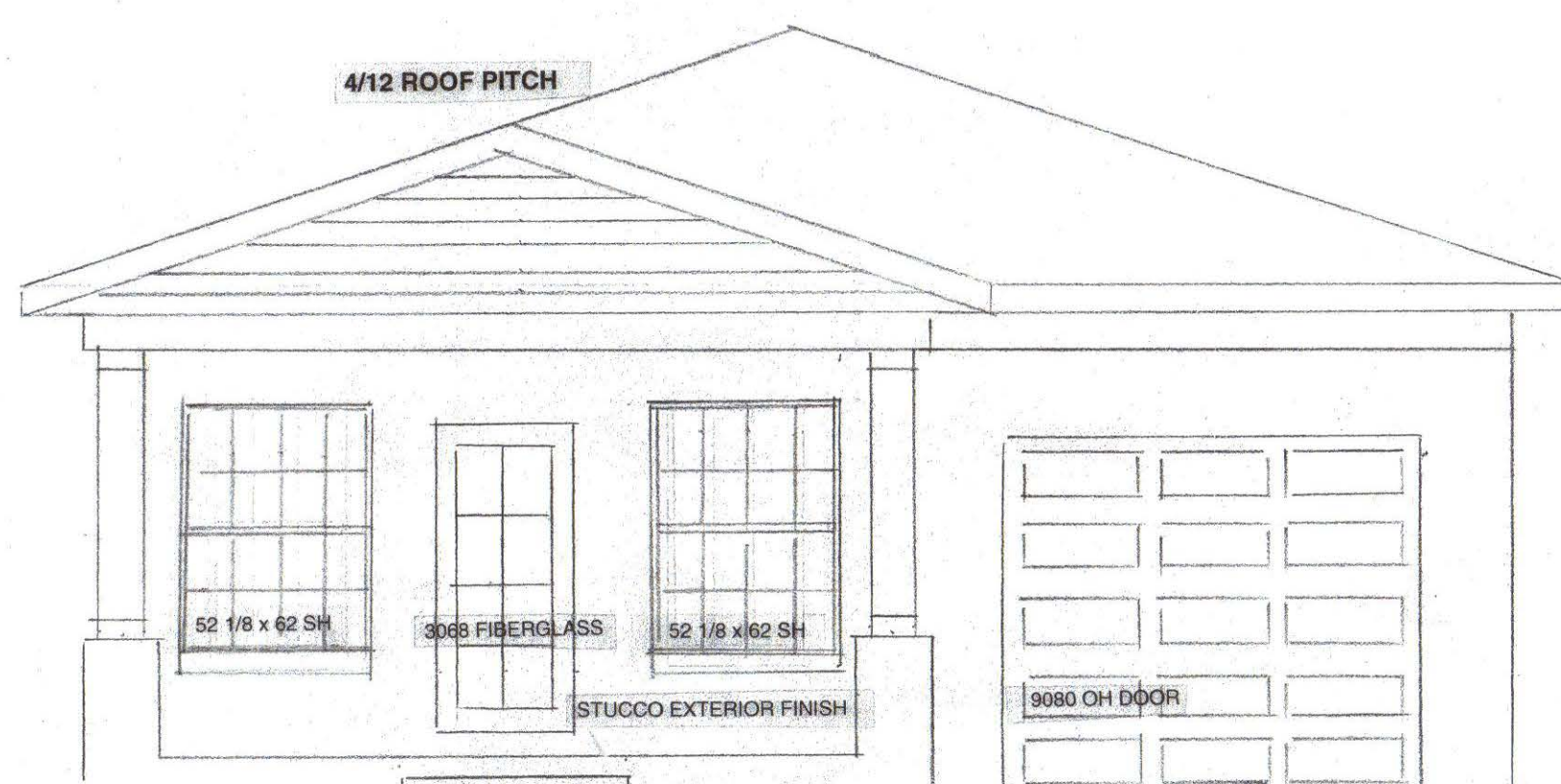
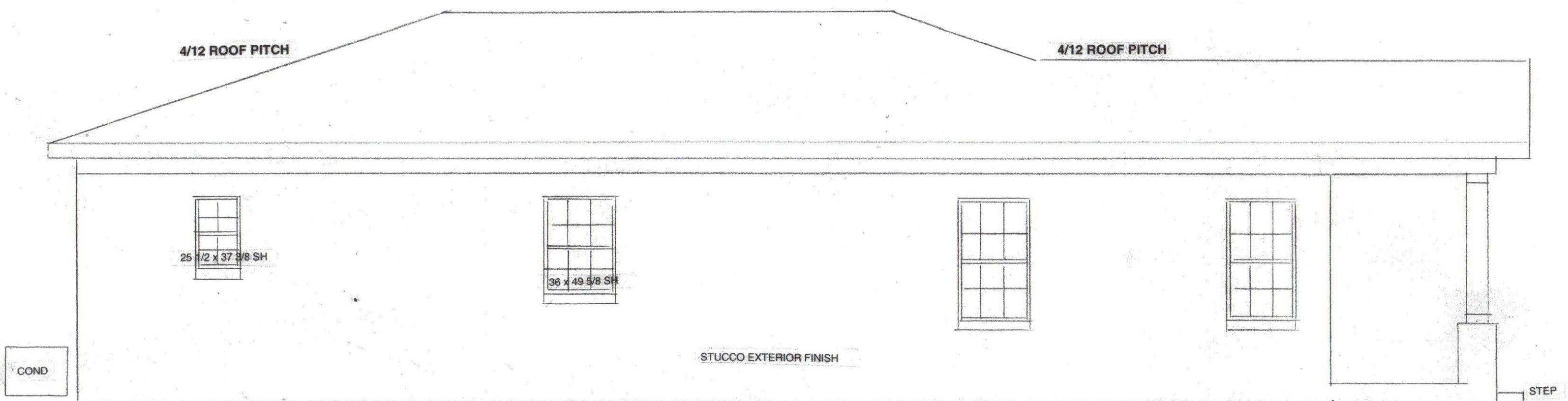
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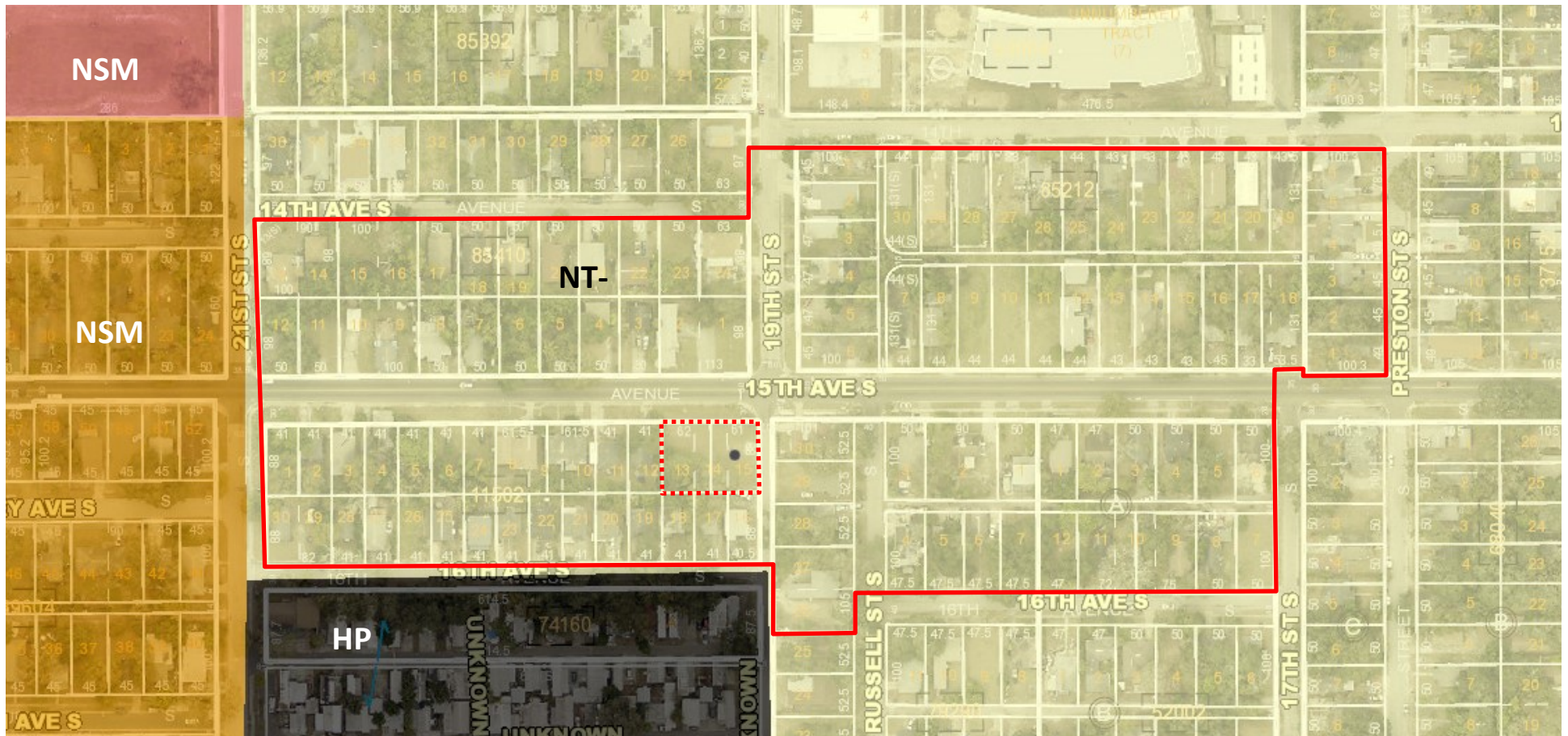


PEAK OF ROOF
5'-4"
TOP OF WALL
9'-4"
FIN FLR
FF - ENTRY
GRADE
1'-2"



PEAK OF ROOF
5'-4"
TOP OF WALL
TOP OF BEAM
9'-4"
FIN FLR
FF - ENTRY
GRADE
1'-2"

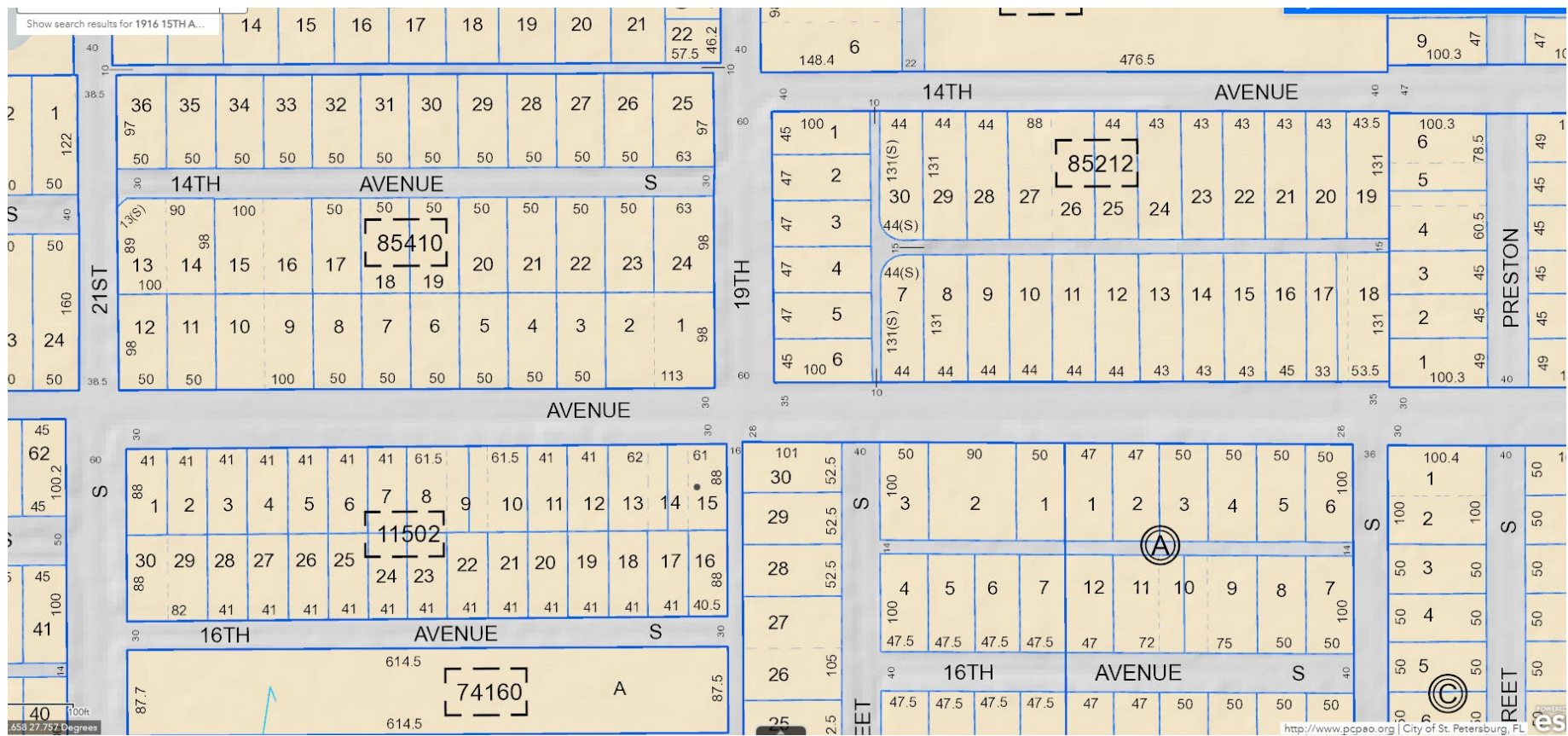




ATTACHMENT—D

Neighborhood Study Area Map

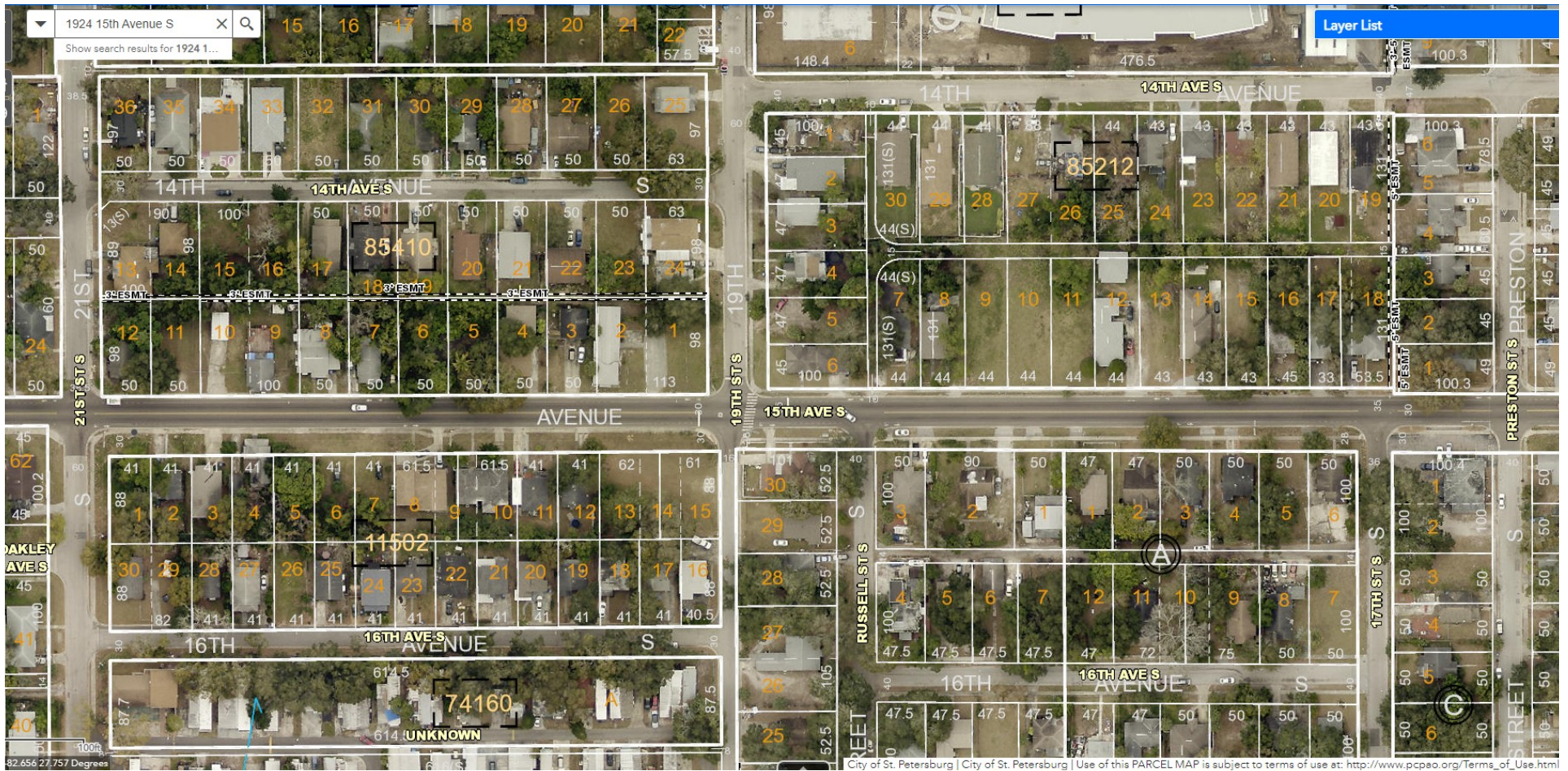






ATTACHMENT—E


Block Location & Lot Dimension Map







 Substandard lot—width or area

 Lots under common ownership

 One house per platted lot

 One house on multiple lots

 Study area boundary

ATTACHMENT—F

Graphic Analysis



ATTACHMENT - G**Tabular Lot Analysis**

Site Address: 1916 & 1924 15th Ave S

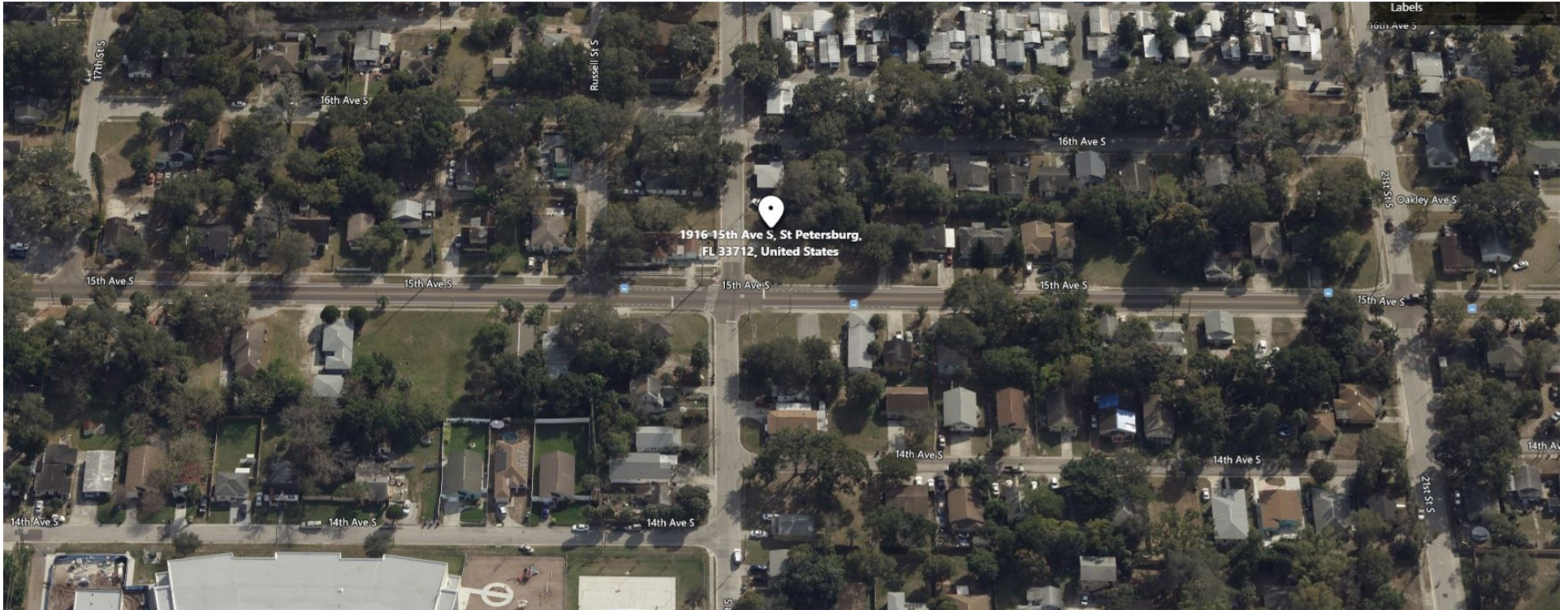
Block	Conforming	# Substandard	% Substandard	# One House per Platted Lot	# One House on Multiple Lots	% One Per Platted Lot
Subject Block 11502	5	21	81%	17	3	85%
Block 85410	19	0	0%	11	4	73%
Block 85212	14	18	56%	23	4	85%
Block A*	22	0	0%	15	4	79%
Average			34%			81%

**To 16th Avenue S.*



Aerial view of site and surrounding lots from the south.

Image from Bing maps.



Aerial view of site and surrounding lots from the north.

Image from Bing maps.